

PLANNING & ZONING 101

Attend the next BUILD: SANDY SPRINGS seminar on Planning & Zoning to learn **about the City's Development Code and Comprehensive Plan policies**. This seminar will teach you where to find the **information on the City's website using Municode and the GIS map**.

You will learn about the City's regulations such as lot dimensions, primary street requirements, setbacks, lot coverage; retaining walls, building height, fences, streams, etc. We will also discuss the character area map amendments, rezonings, and variances.

When: Wednesday, July 24, 2019

@ 9:30am

Where: Sandy Springs City Hall
Terrace Meeting Room (3rd floor)

1 Galambos Way

Sandy Springs, GA 30328

Register: spr.gs/BuildSeminars

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The background is a detailed architectural floor plan in white lines on a dark blue background. It shows various rooms including bedrooms (QUARTO), bathrooms (SANIT), a service area (SERVICO), and a hall. Rooms are labeled with their area in square meters (M²).

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- **“BUILD: SANDY SPRINGS”** is a series of seminars presented by the Community Development department of the City of Sandy Springs, GA.
- It is intended to educate the public on the current policies, procedures and expectations of the City of Sandy Springs, GA as it relates to construction within the jurisdiction.
- The information presented in these seminars is subject to change with new Code adoptions, changes in City ordinances and zoning, and changes in office policy as it relates to current construction trends.

Planning & Zoning 101



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July 24, 2019

Table of Contents

- Introduction
- The Next Ten and the Development Code
- What Is Regulated?
- Special Considerations and Permits
- Review Processes and Applications
- How Can I Find Other Information?
- Questions

Introduction

What Does Planning & Zoning Do?

- Implements the Development Code
- Reviews proposed land uses and development projects
- Processes Character Area Map (CAM), Rezoning (RZ), Conditional Use Permit (CUP), Variance cases
- Assists developers, businesses, residents

Where Does Planning & Zoning Fit into Community Development and within the City?

- Ensures quality development and economic growth
- Compatibility with The Next Ten

The Next Ten and the Development Code

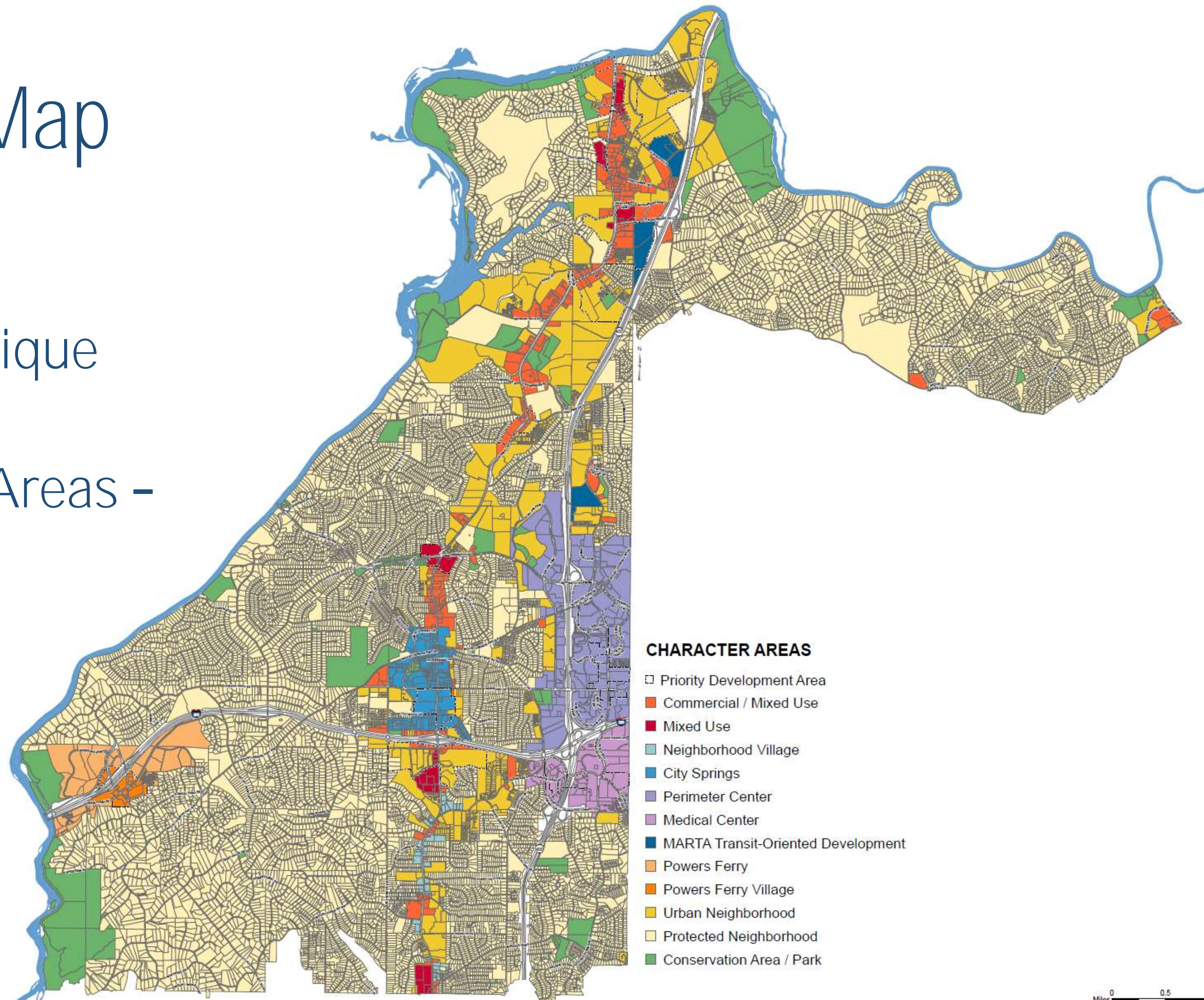
The Next Ten

- Informs future development decisions
- Goals:
 - Neighborhood preservation
 - Mobility
 - Connections
 - Open space
 - Balanced community
 - Competitive
 - Transit
 - Redevelopment
 - Quality of place/quality of life
 - Development management tools



Character Area Map

- Future land use map
- Identifies special or unique characteristics
- Priority Development Areas – incentives



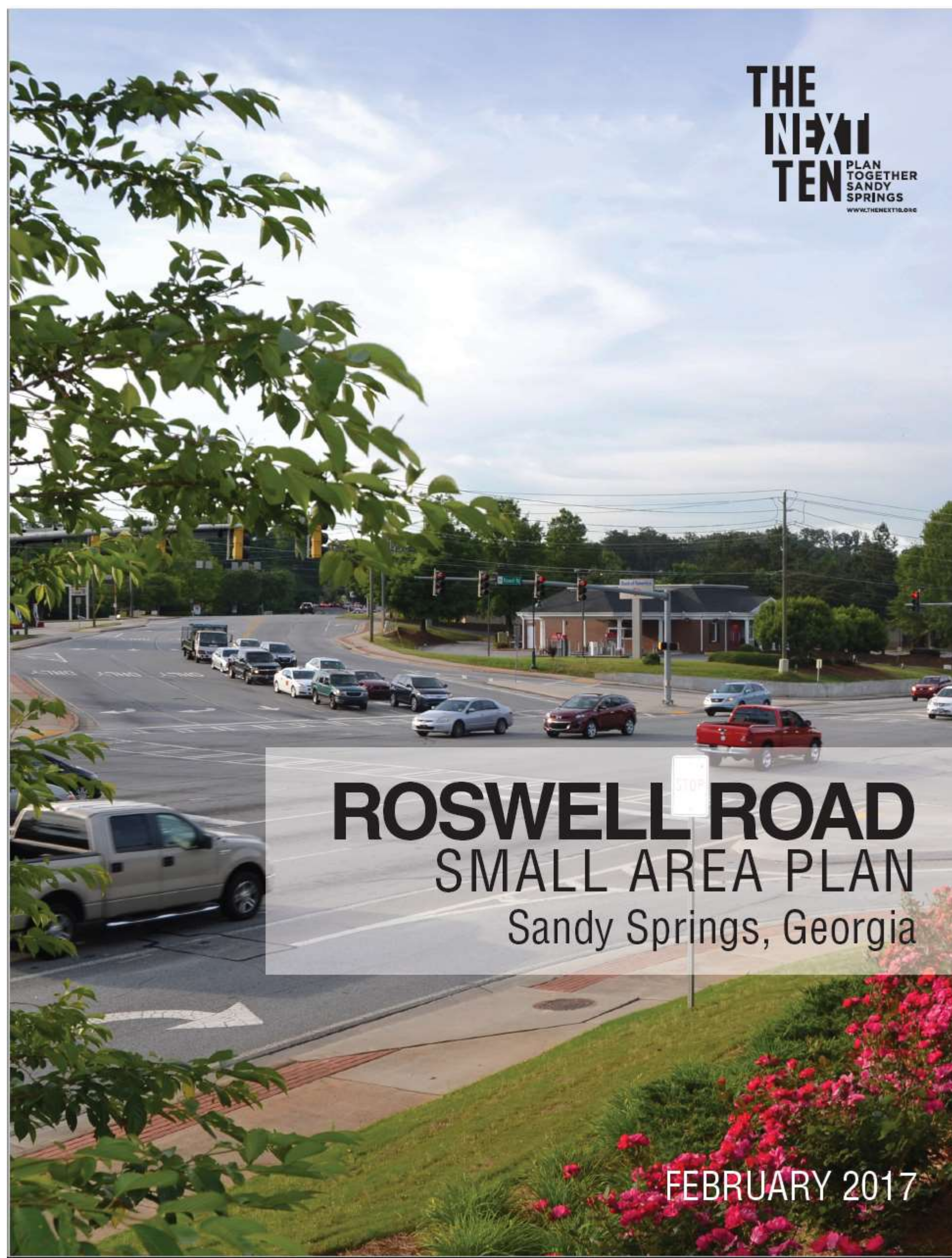
Small Area Plans

- Area specific strategies
- Detailed recommendations for key geographical areas



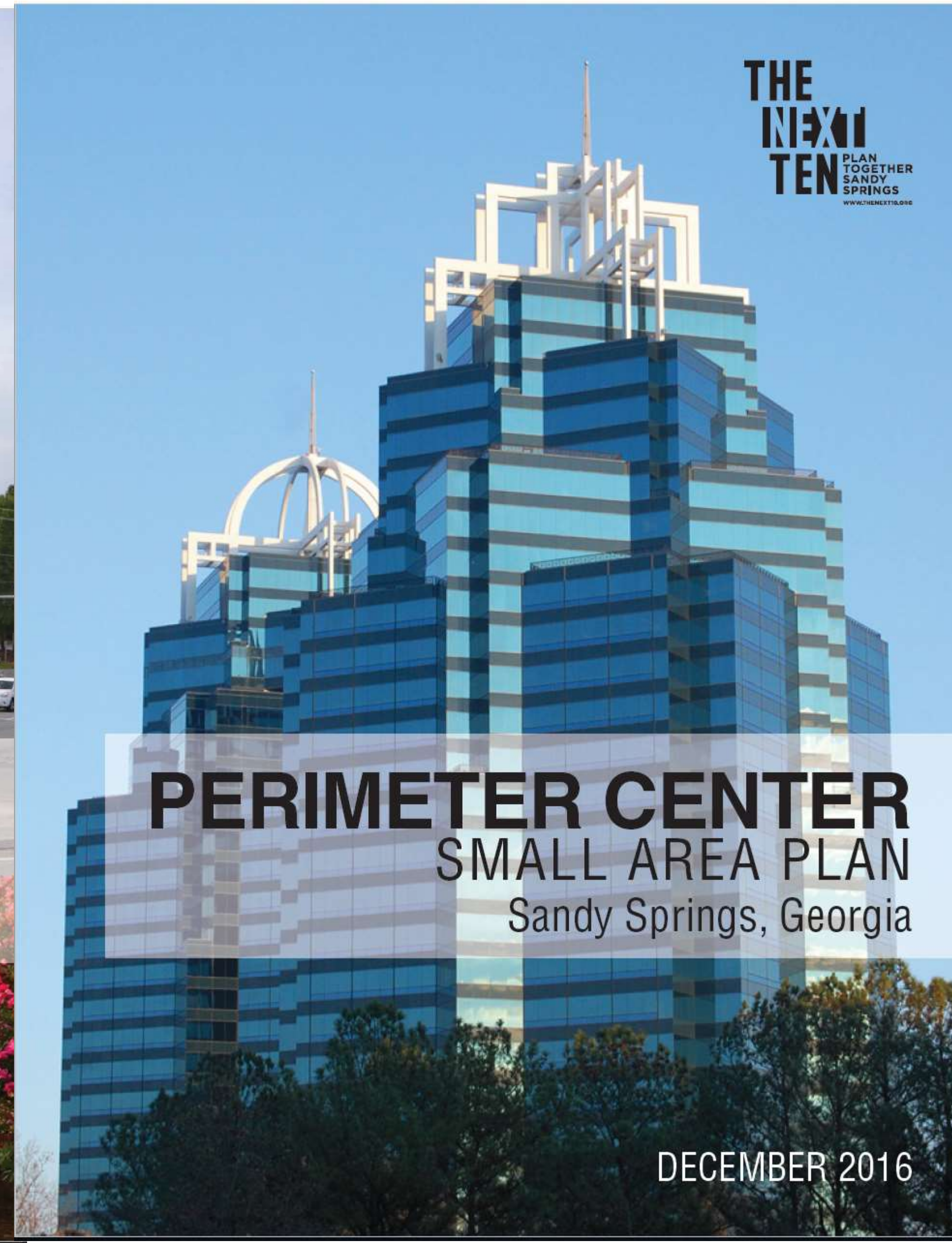
**MARTA STATION
AREAS**
SMALL AREA PLAN
Sandy Springs, Georgia

DECEMBER 2016



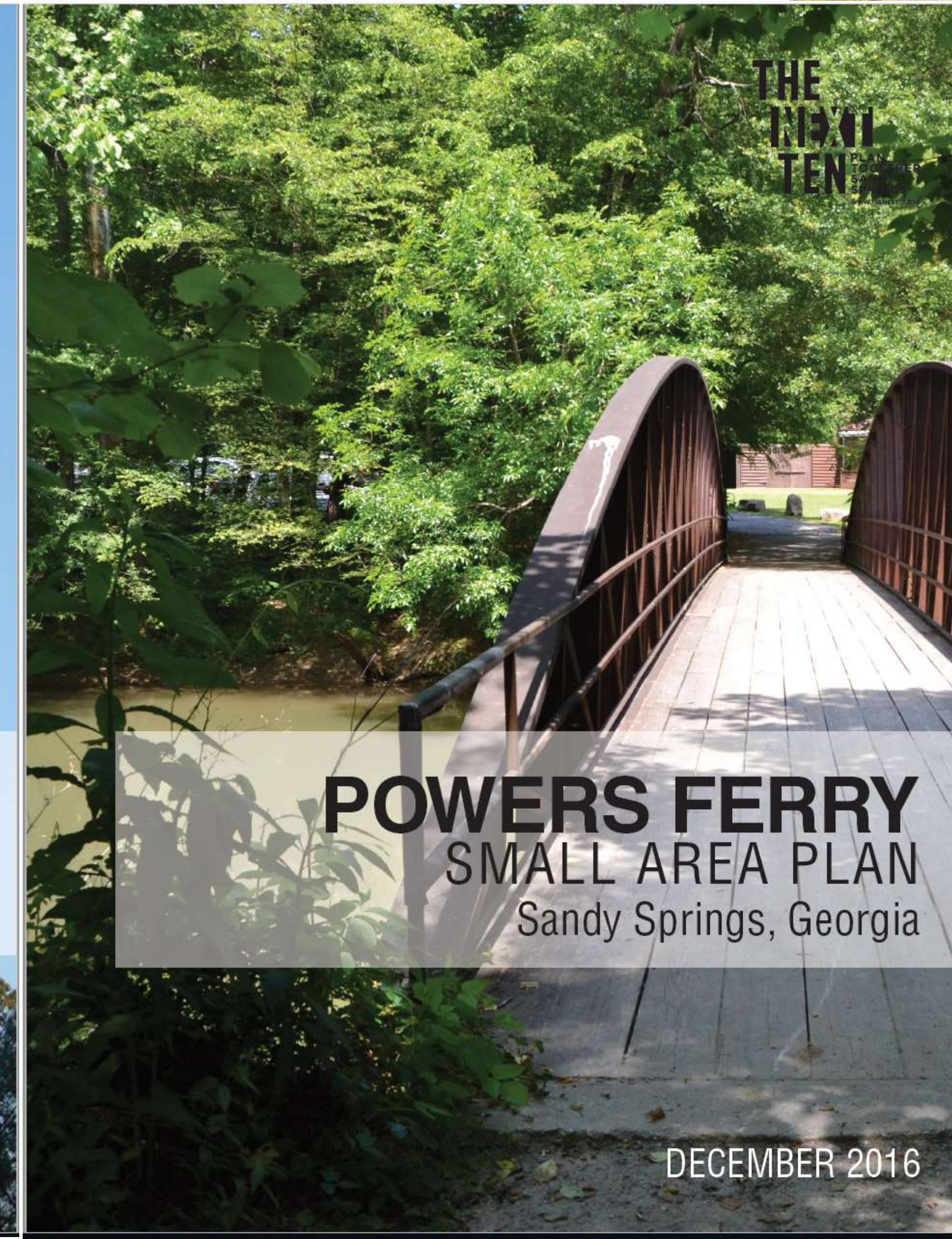
ROSWELL ROAD
SMALL AREA PLAN
Sandy Springs, Georgia

FEBRUARY 2017



PERIMETER CENTER
SMALL AREA PLAN
Sandy Springs, Georgia

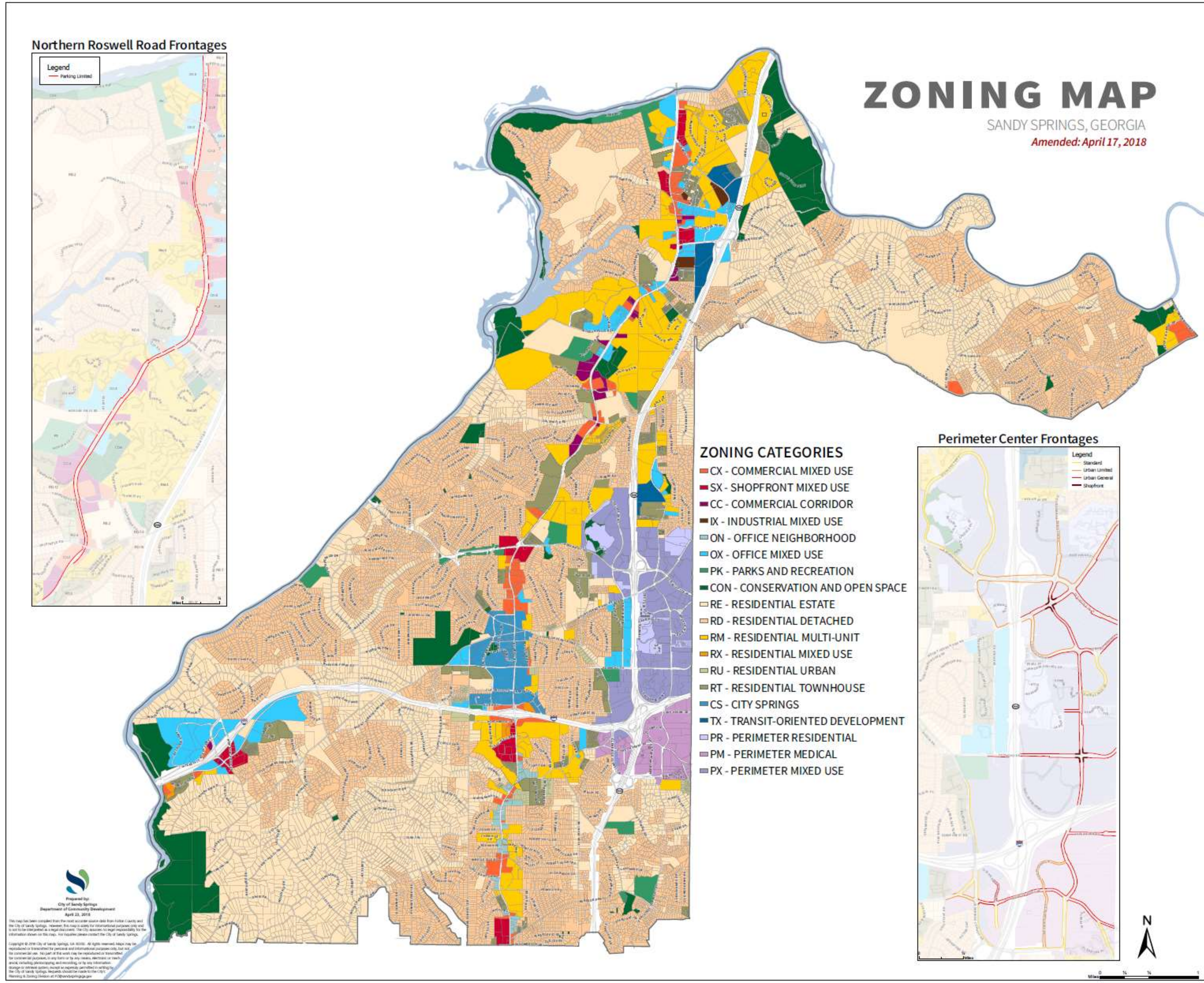
DECEMBER 2016



POWERS FERRY
SMALL AREA PLAN
Sandy Springs, Georgia

DECEMBER 2016

Zoning Map



Zoning Districts

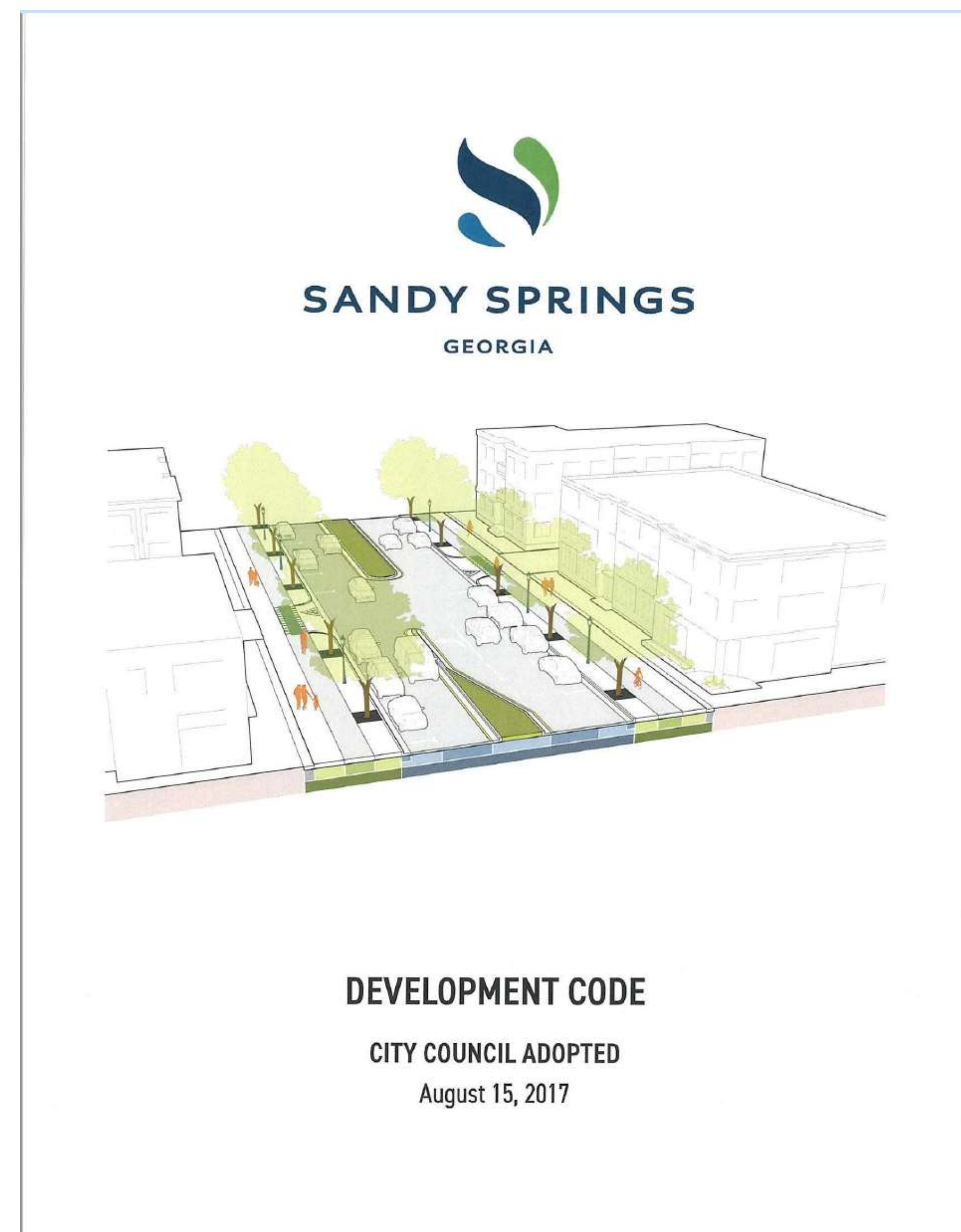
- Protected Neighborhood Districts: RE-, RD-, PK, CON
- Urban Neighborhood Districts: RU-, RT-, RM-, RX-
- Most residential districts are same as in old Zoning Ordinance but have different names
 - R-1, R-2 → RE-
 - R-2A to R-6 → RD-
- Suffix represents minimum lot size (e.g., 27,000 square feet in RD-27) or max. number of stories (e.g., 3 in RM-3)

Zoning Districts (cont.)

- Corridor & Node Districts: ON-, OX-, CX-, SX-, TX-, CS-, IX-, CC-
- Perimeter Center Districts: PR-, PX-, PM-
- Some specialty districts: TX-, CS-, PR-, PX-, PM-
- Mixed use allowed
- No overlays, but Frontages

Development Code

- Combined zoning ordinance and development regulations
- Defines vision for growth
- Removed conditions of zoning, with some exceptions



Art. 1. Introductory Provisions

Art. 2.-5. Zoning Districts

Art. 6. Rules for All Districts

Art. 7. Use Provisions

Art. 8. Site Development

Art. 9. Environmental Protection

Art. 10. Streets & Improvements

Art. 11. Administration

Art. 12. Definitions

Technical Manual

- Development regulations
- **P&Z doesn't implement all of these**
- Landscape, Tree, & Buffer Submittal Plans & Planting Standards
 - Recommended Species List
- Street Framework & Mobility Maps: Typical Sections & Details by Street
- Roadway Design & Pavement
- Street Construction Requirements
- Curb & Gutter
- Access



SANDY SPRINGS™
GEORGIA

City of Sandy Springs
Department of Community Development
Development and Construction

TECHNICAL MANUAL

Adopted: August 15, 2017
Effective: September 14, 2017

municode

Municipal Code Corporation | P.O. Box 2235 Tallahassee, FL 32316
info@municode.com | 800.262.2633
www.municode.com

Technical Manual (cont.)

- Signage & Striping
- Sidewalks & Multiuse Trails
- Lighting & Utilities
- Grading & Drainage
- Water Conservation
- Plan & Plat Specifications
- Traffic Study Standards & Submittal Requirements
- Construction Standards
- Administrative Guidelines & Checklists



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City of Sandy Springs
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TECHNICAL MANUAL

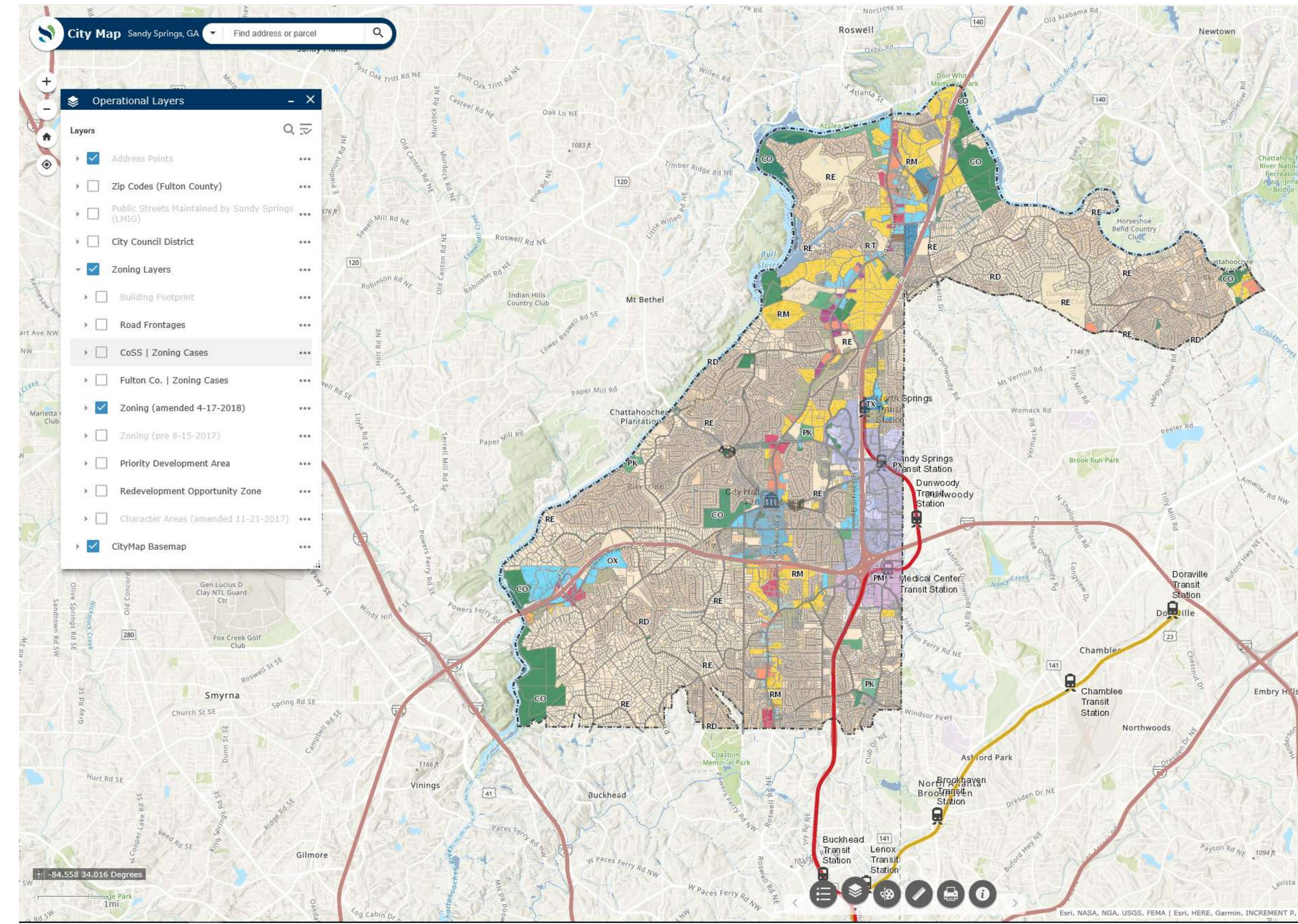
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municode

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Where Can I Find Information?

- Zoning Maps and Development Code: <http://www.spr.gs/devcode>
- Open Data: <https://data-coss.opendata.arcgis.com/>
- GIS City Map: <https://coss.maps.arcgis.com/apps/webappviewer/index.html?id=16340c677de844b7b281a6079055025b>



How Do The Next Ten and the Development Code Work Together?

- Preserve existing neighborhoods
- Promote predictable urban development
- Development Code was created to implement The Next Ten



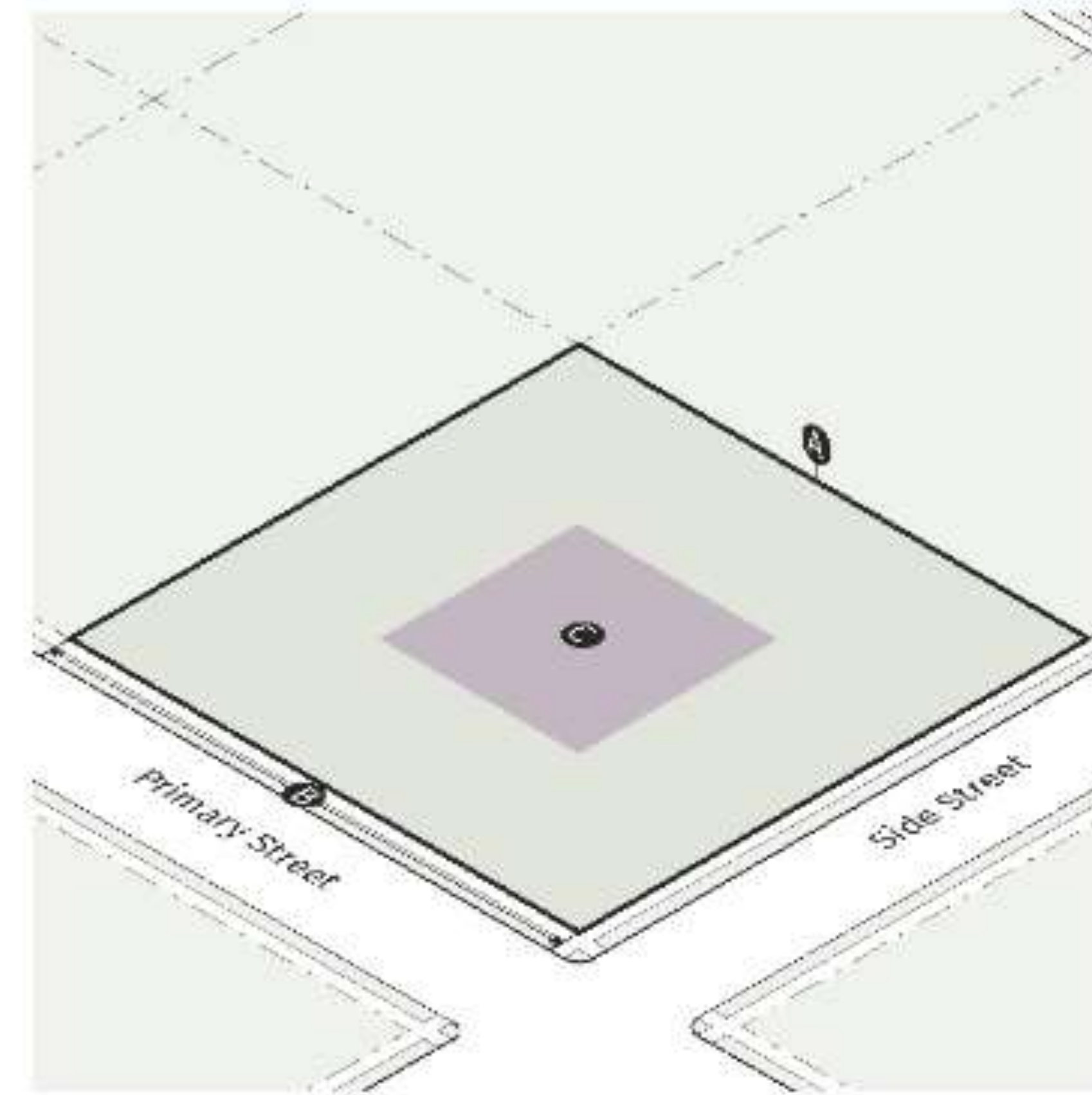
What Is Regulated?

Lot Parameters (Articles 2 through 6)

- Area
- Width
- Lot coverage
 - Buildings and impervious surfaces
- Outdoor amenity space
 - Common outdoor area (e.g., gardens, parks, greens, seating, plazas)

Div. 2.2. Residential Estate (RE-2, -1)*

SEC. 2.2.1. LOT PARAMETERS

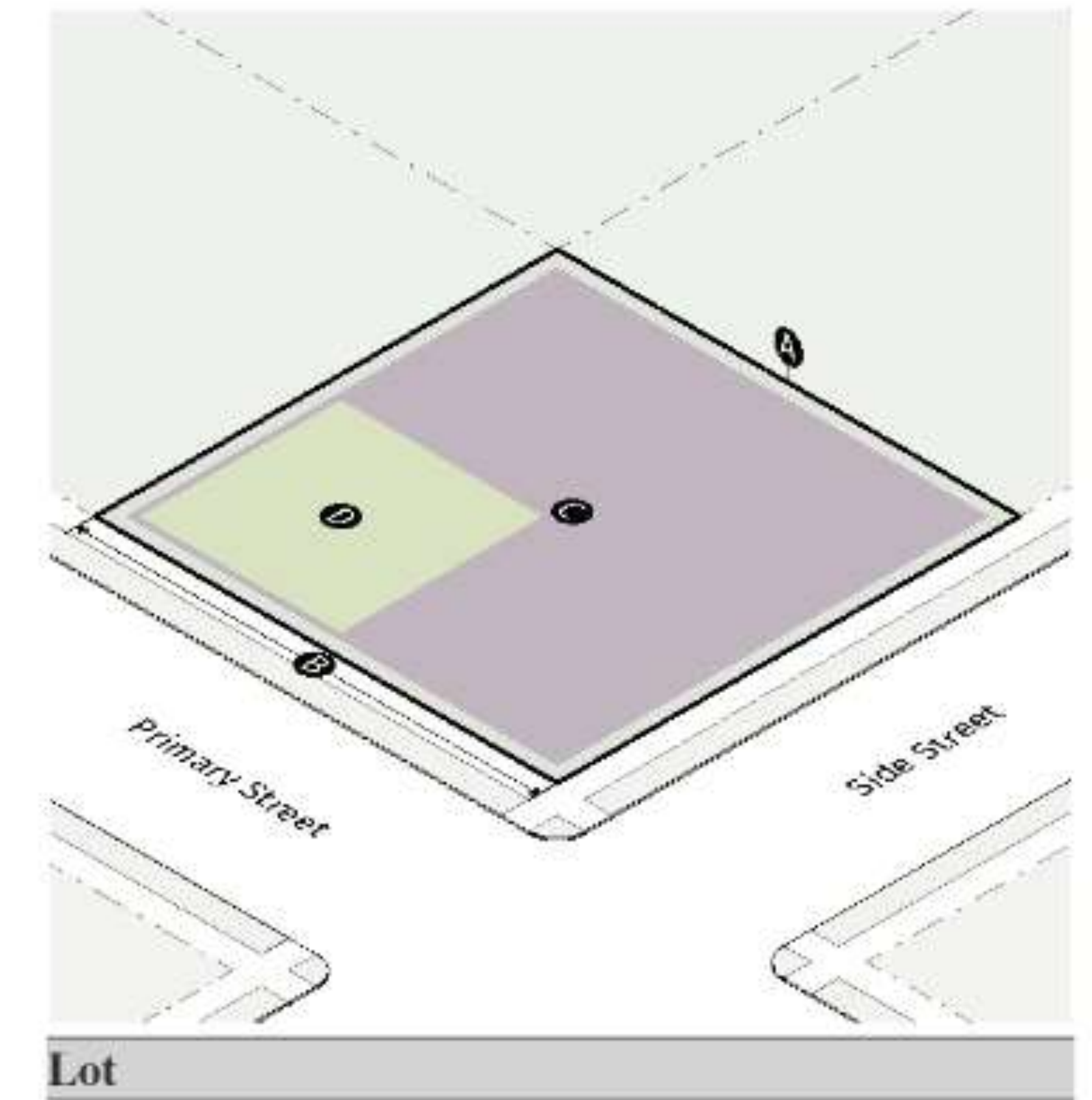


		RE-2	RE-1
Lot			
A	Area		
	Single unit detached	2 acre min	1 acre min
	All other allowed uses	10,000 SF min	10,000 SF min
B	Width		
	Single unit detached	200' min	150' min
	All other allowed uses	100' min	100' min
Coverage			
C	Lot coverage		
	Residential use	25% max	25% max
	All other principal uses	By use permit	
D	Canopy coverage		
	Residential use	35% min	35% min
	All other uses	40% min	40% min

(Ord. of 4-17-2018(3), § 2-3)

Div. 4.4. Commercial Mixed Use (CX-)

SEC. 4.4.1. LOT PARAMETERS



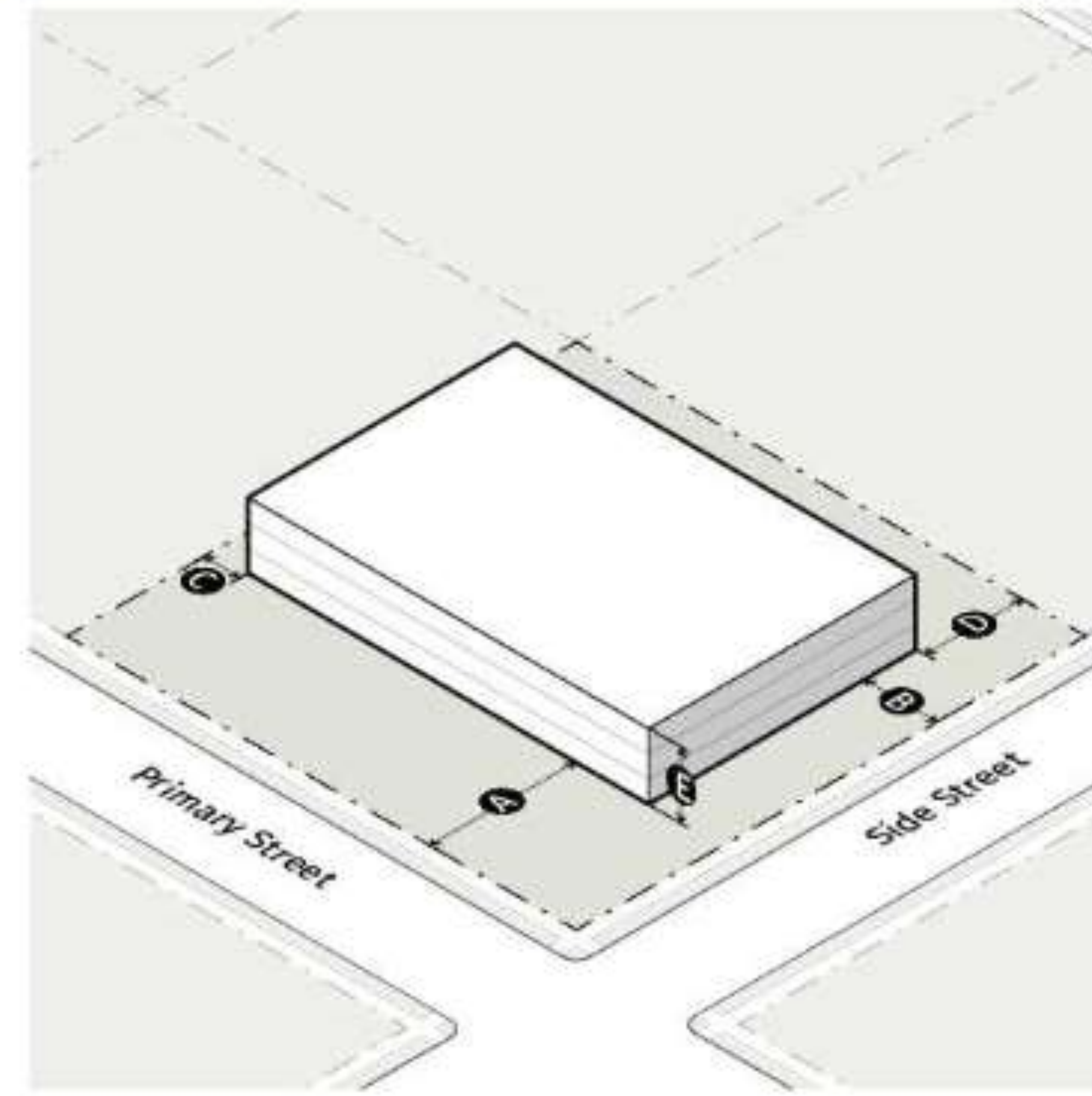
A Area		
Single unit attached	1,300	SF min
Multi-unit	7,500	SF min
All other allowed uses	7,500	SF min
B Width		
Single unit attached	16'	min
Multi-unit	75'	min
All other allowed uses	75'	min
Coverage		
C	Lot coverage	85% max
D	Outdoor amenity space	Required
E	Canopy coverage	
	Residential use	35% min
	All other uses	40% min

(Ord. of 4-17-2018(3), § 4-5; Ord. No. 2019-01-04, § I, 1-15-2019)

Placement (Articles 2 through 6)

- Building setbacks
- Build-to zone
 - Similar to setback but a zone where the building has to be
- Parking setbacks

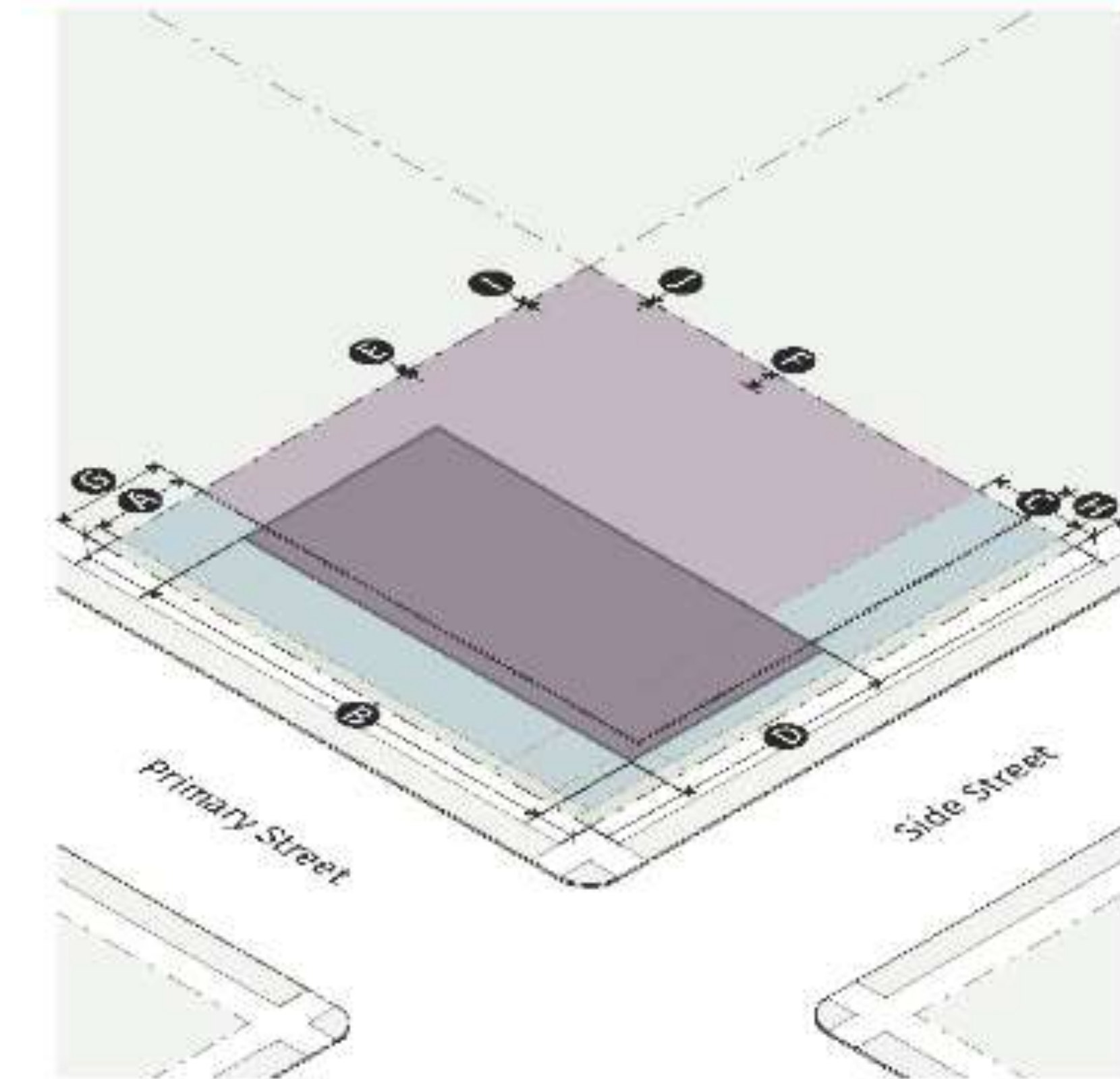
SEC. 2.2.2. PLACEMENT AND HEIGHT



	RE-2	RE-1
Building Setbacks		
A Primary street	60' min	60' min
B Side street	40' min	30' min
C Side: common lot line	25' min	15' min
D Rear: common lot line	50' min	40' min
Building Height		
E Single-unit detached dwelling	3 stories/40' max	
All other principal uses	By use permit	

(Ord. of 4-17-2018(3), §§ 2-4, 2-5)

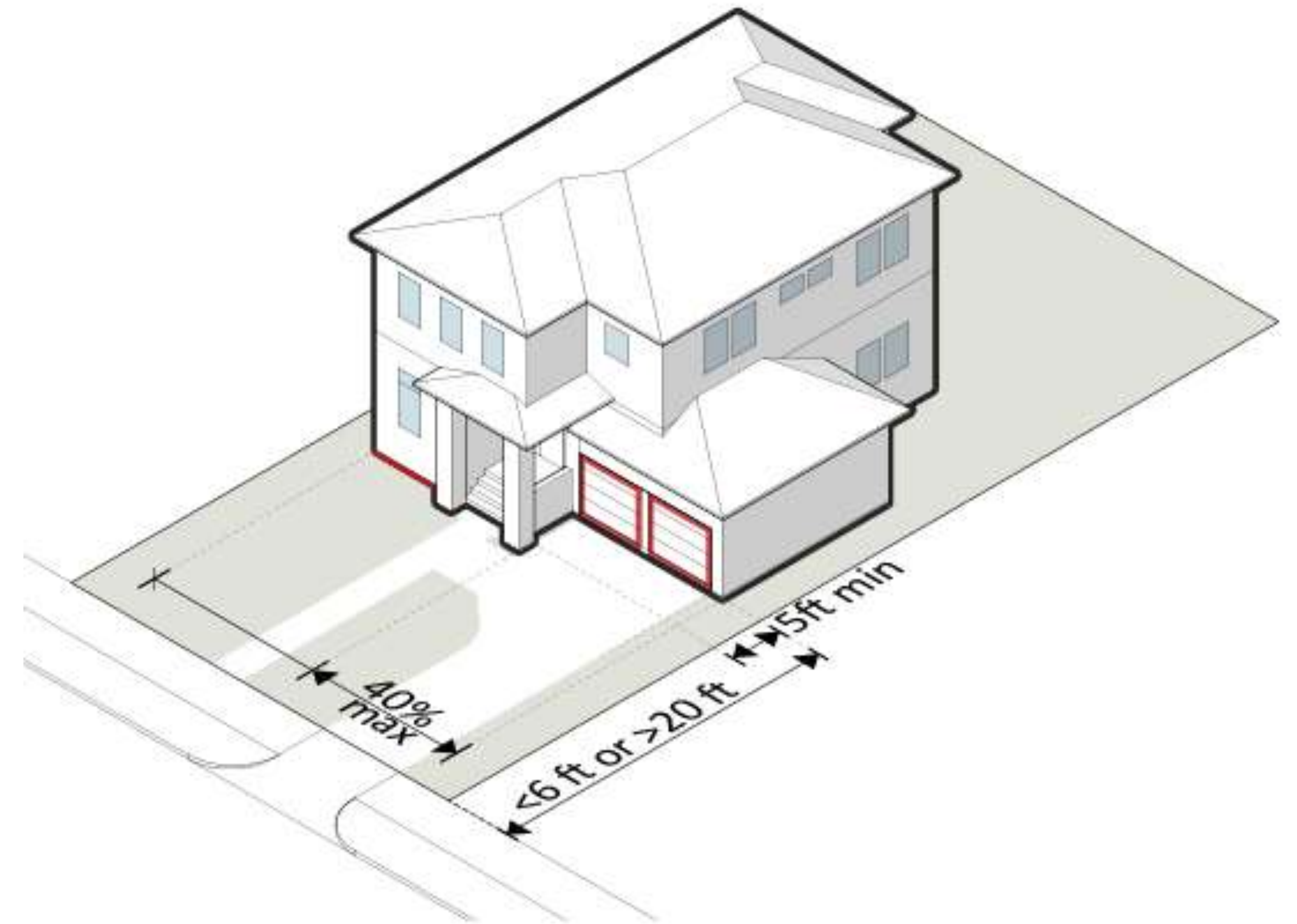
SEC. 4.4.2. BUILDING PLACEMENT



Build-to Zone		
A Primary street	3' min/20' max	
B % of building facade in primary street build-to zone	80% min	
C Side street	3' min/20' max	
D % of building facade in side street build-to zone	40% min	
Side and Rear Building Setbacks		
E Side: common lot line	0' min	
Side: alley	5' min	
F Rear: common lot line	0' min	
Rear: alley	5' min	
Abutting a Protected Neighborhood	see Div. 6.4	
Parking Setbacks		
G Primary street	20' min	
H Side street	10' min	
I Side: common lot line/alley	0' min	
J Rear: common lot line/alley	0' min	
Abutting a Protected Neighborhood	see Div. 6.4	

Placement – Garage (Division 6.5)

- For single unit detached in RE-, RU-, RT-, may not encroach into setback
- For front-entry, doors must be at **least 5' behind front wall plane**, extending no more than 40% of street-facing width
- Architectural finish and windows must be provided for side-entry garage wall facing street

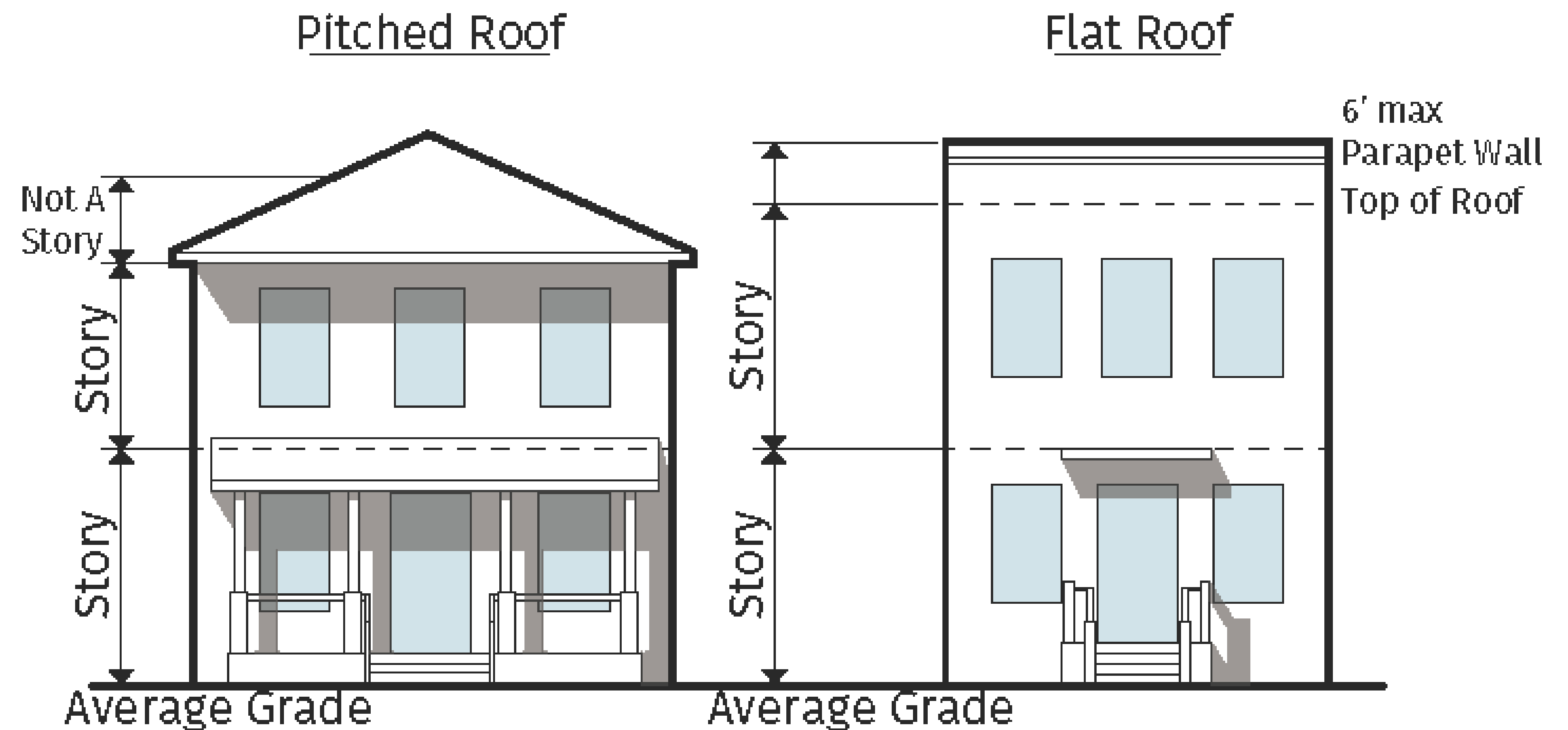
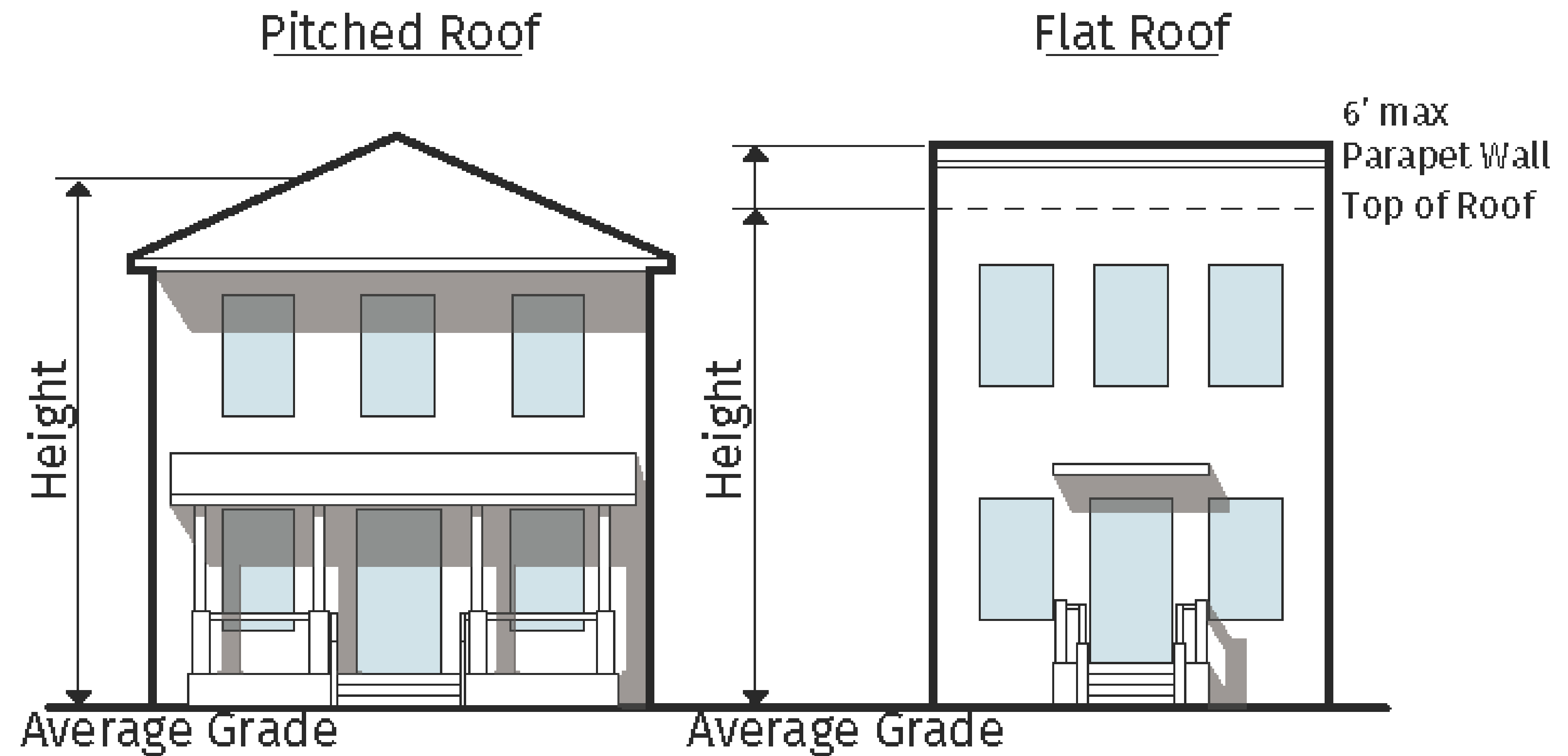


Placement – Parking Location (Division 6.5)

- For single unit detached in RE-, RU-, RT-, in front setback, no parking pad allowed
- Turnaround of no more than 200 square feet allowed
- Visible storage or parking of more than 4 vehicles prohibited

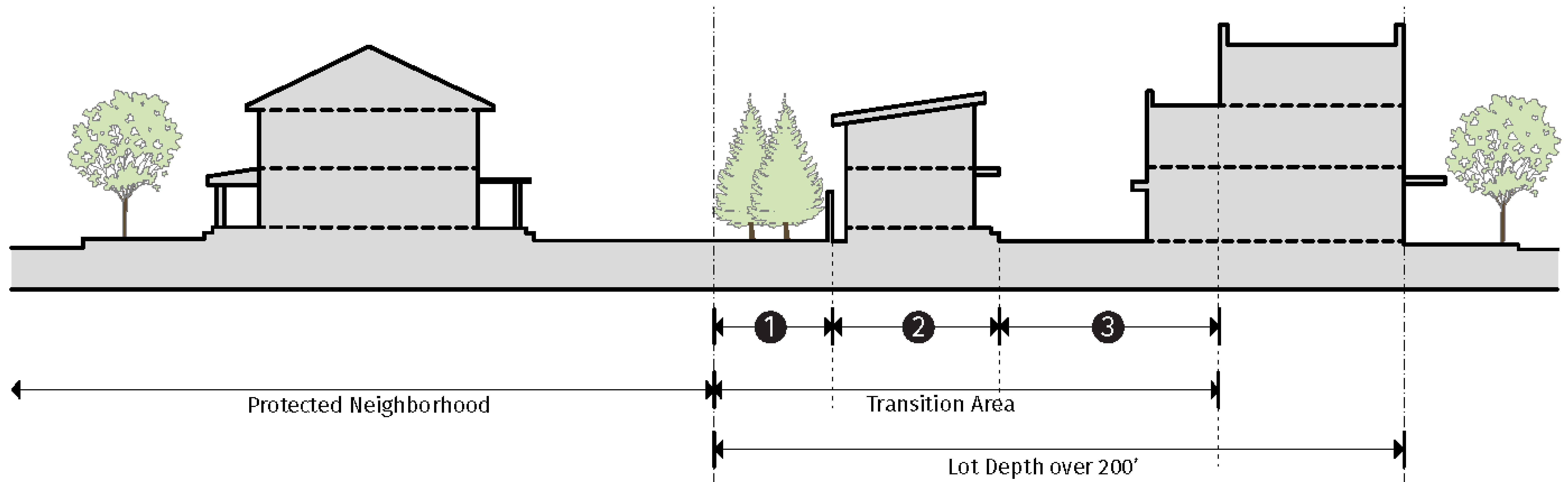
Height (Section 6.5.3)

- Building height
 - Residential
 - Commercial
- Story height
- Height encroachments



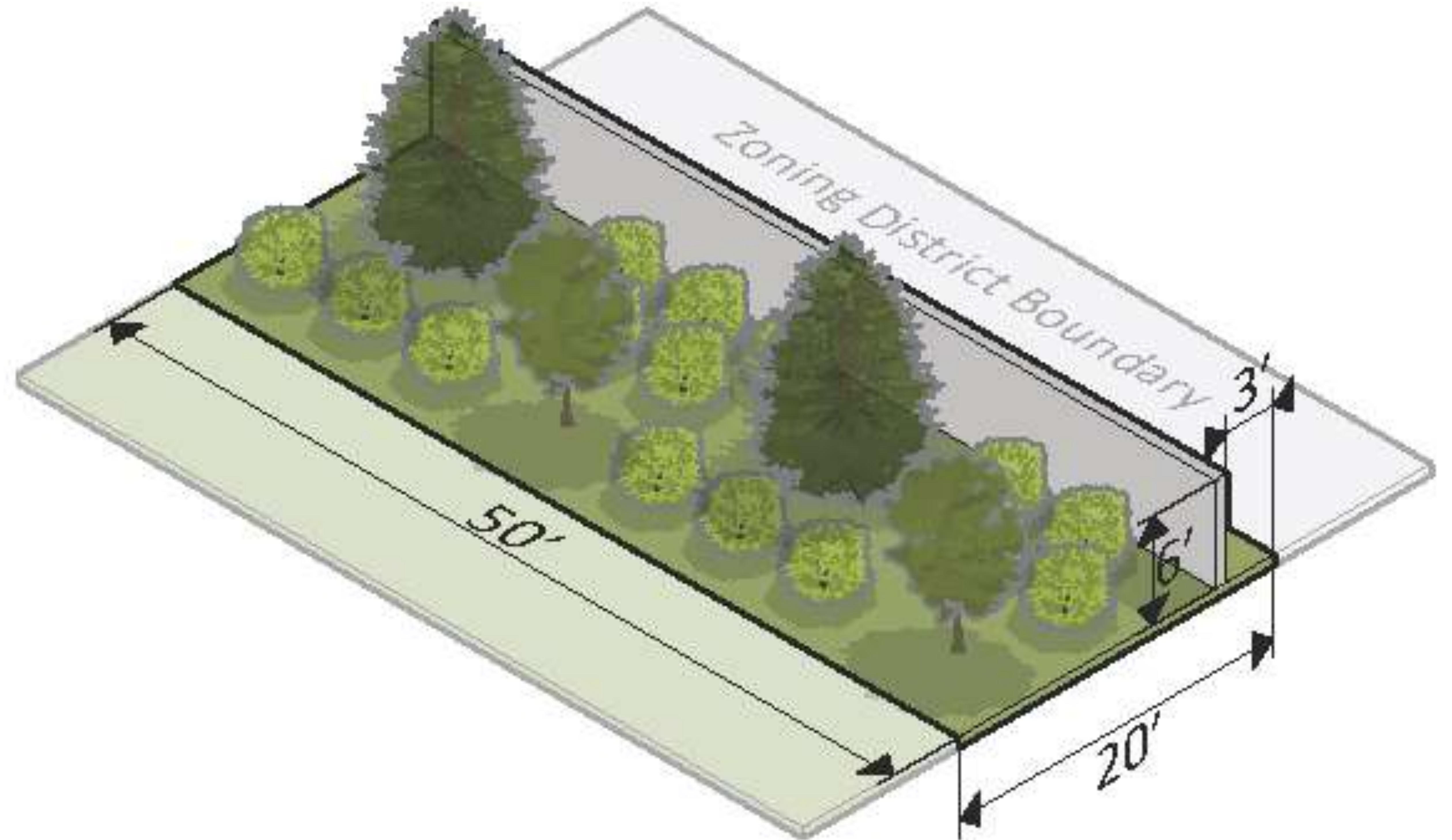
Protected Neighborhood Transitions (Division 6.4)

- Located between almost any single-family residence and a higher-density development
- Undisturbed buffer
- Restricted uses



District Boundary Buffers (Section 8.2.7)

- Between RM- / Corridor & Node and RT- / RU-
- Min. 20' buffer



Allowed Use Table (Division 7.2)

P: Permitted

L: Limited

C: Conditional
Use Permit

—: Not Permitted

Allowed Use Table	Protected Neighborhood				Urban Neighborhood				Corridors & Nodes						Perimeter Center						
Use Category: Specific Use	RE	RD	PK	CON	RU	RT	RM	RX	ON-	OX-	CX-	SX-	TX-	CS-	IX-	CC-	PR-	PX-	PM-	Definition/ Standards	
Residential Uses																					
Household Living																				Sec. 7.3.1	
Single unit detached	P	P	—	—	P	P	L	—	L	L	L	L	L	L	L	L	L	L	L	Sec. 7.3.1.B	
Single unit attached	—	—	—	—	—	P	P	P	P	P	P	P	P	P	P	P	P	L	L	Sec. 7.3.1.E	
Multi-unit	—	—	—	—	—	—	P	P	—	—	P	P	P	P	P	P	P	P	P	Sec. 7.3.1.F	
Live/work	—	—	—	—	—	—	P	P	—	—	P	P	P	P	P	—	P	P	P	Sec. 7.3.1.G	
Group Living, except as listed below:	—	—	—	—	—	—	P	P	—	P	P	P	P	P	P	P	P	P	P	Sec. 7.3.2	
Personal care home, up to 3 residents	L	L	—	—	P	P	P	P	—	P	P	P	P	P	P	P	P	P	P	Sec. 7.3.2.E	
Personal care home, 4 or more residents	C	C	—	—	C	C	C	C	—	C	C	C	C	C	C	C	C	C	C	Sec. 7.3.2.E	
Rehabilitation or Treatment Facility	—	—	—	—	—	—	—	—	—	—	—	—	—	—	C	C	—	—	—	Sec. 7.3.4	

Grading Definition (Division 9.4)

- Altering the shape of ground surfaces to a predetermined condition
- Includes stripping, cutting, filling, stockpiling and shaping or any combination of the above, and includes land in its cut and filled condition
- Grading setbacks in the side and rear setbacks depend on the zoning district

Zoning District	Side Grading Encroachment
RE-	Up to 10'
RD- & RU-	Allowed

Zoning District	No grading allowed within
RE-	10' of rear lot line
RD-27, -18, -15	15' of rear lot line
RD-12, -9, -7.5, and RU-	10' of rear lot line

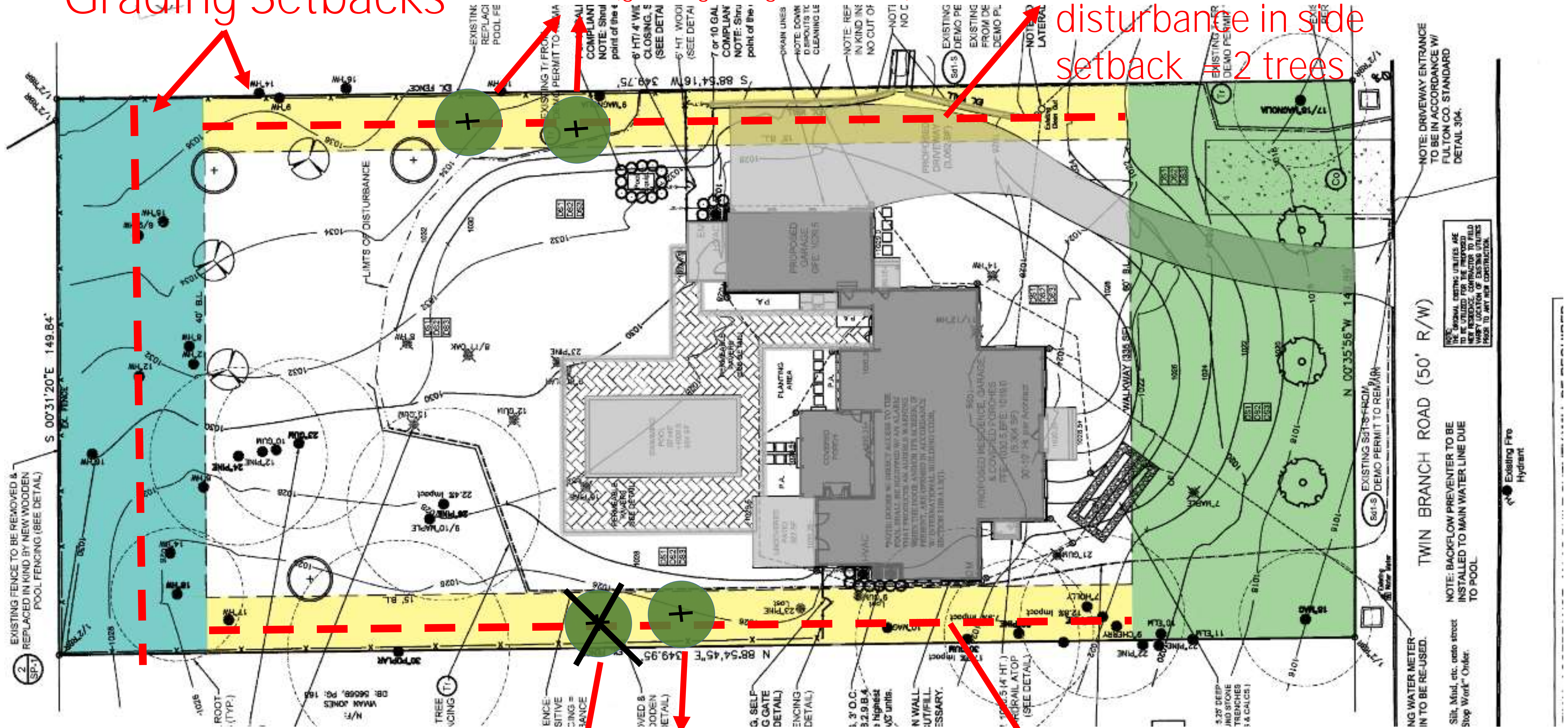
Grading Mitigation (Section 9.4.2)

- If remove tree or disturb over 1,000 square feet, must mitigate in side setback
- Plant trees in disturbed area
- Trees from Recommended Large Canopy Species List in Technical Manual
- No mitigation required for grading in the rear setback

Grading Setbacks

Proposed 2 - 2" southern magnolia trees (grading mitigation trees)

2,000 sq. ft. of disturbance in side setback = 2 trees



Removing tree due to grading = 1 tree

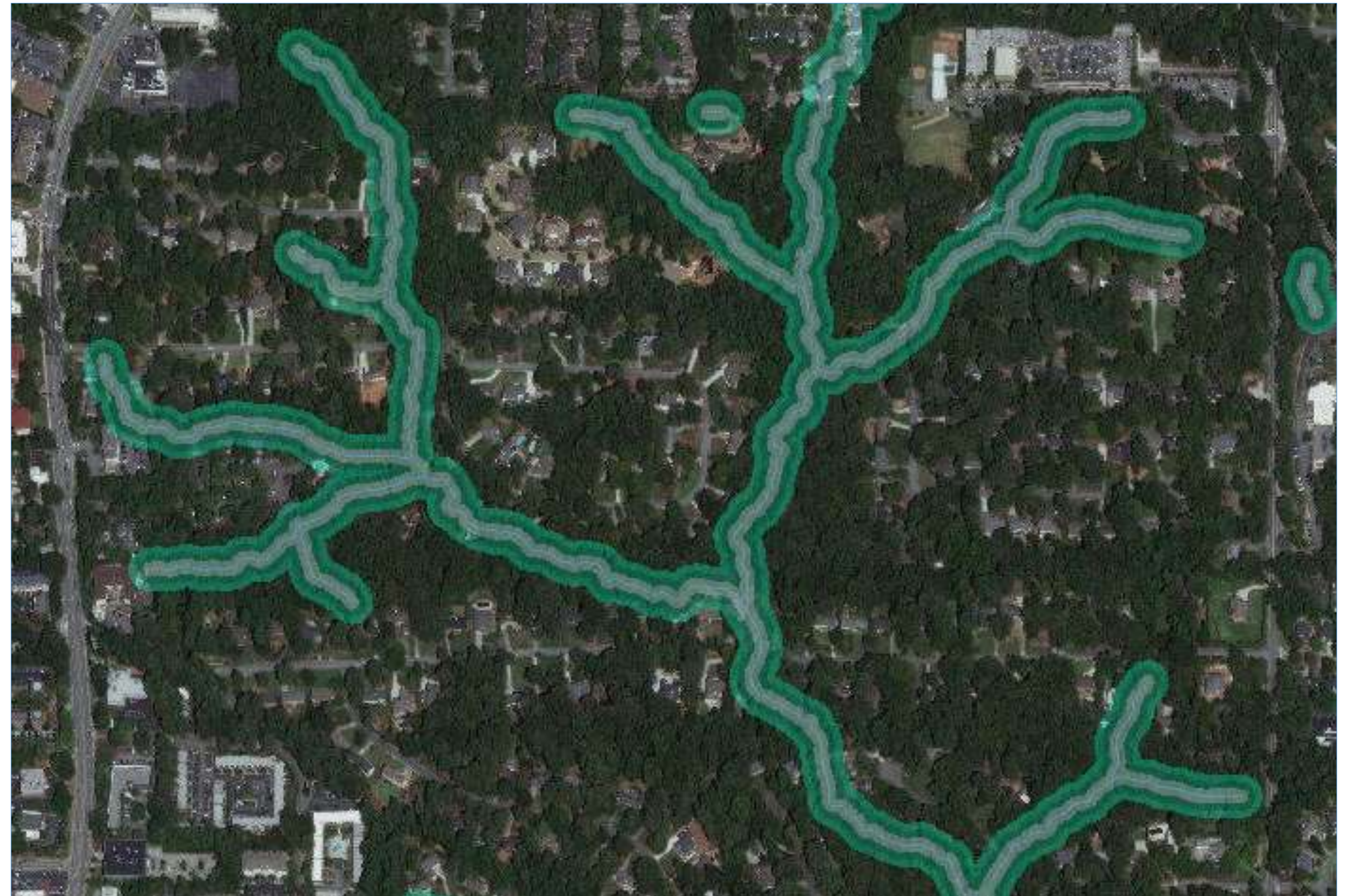
850 sq. ft. of disturbance in side setback = No tree

Residential Retaining Wall (Section 9.4.3)

- 0'-4': No permit required for the wall, Land Disturbance Permit may be necessary
 - 12"-36": Knee wall, landscape wall, garden wall (No permit)
- >6': Wall must be tiered
 - Tiers must be separated by at least 4'
- Retaining walls have required setbacks from the side and rear property lines
 - Setbacks are specific to zoning district

State Waters Buffers and Setback (Section 9.2.4)

- Undisturbed natural **vegetative buffer for 50'** as measured from point of wretched vegetation
- Additional setback of **25'**



Nonconformity (Division 11.7)

- Definition: Pre-**existing** condition that does not conform to today's Development Code
- Structure
 - Maintenance & repairs allowed
 - Expansion, alteration or rebuild – must meet code
 - No new nonconformity created
- Lot
 - Definition:
 - Lot that was legally platted and recorded in the deed records of Fulton County that no longer meets Dev. Code Standards
 - Must meet other requirements in Dev. Code such as setbacks

Special Considerations and Permits

Mechanical Equipment (Section 6.1.2 & Section 8.2.9)

- HVAC, generator, pool equipment
- Roof-mounted, wall-mounted, ground-mounted
- In Protected Neighborhoods, must be located within buildable area
- In Urban Neighborhoods, may encroach up **to 5' into rear setback, if at least 5' from lot line; can't encroach into side setback**
- May not be located between primary building and street
- Must be screened (landscaping or fence)



Residential Accessory Structures (Section 7.8.22)

	Minor Accessory	Major Accessory
Examples	<ul style="list-style-type: none">• Gazebo, outdoor kitchen, detached carport, tree house (unconditioned), play structure, pool/spa	<ul style="list-style-type: none">• Cabana, shed, pool house, detached garage
Location	<ul style="list-style-type: none">• Allowed in side or rear yard (not front yard)• Must be a min. of 10' or setback, from any property line (less restrictive applies)	<ul style="list-style-type: none">• Allowed in side or rear yard (not front yard)• If >500 sq. ft.: must meet setbacks• If <500 sq. ft.: min. 10' from property line or setback, less restrictive applies
Height	<ul style="list-style-type: none">• 15' height max. (if in setbacks)• 24' height max. (if in buildable area)• Each façade must comply with height	<ul style="list-style-type: none">• Same as minor

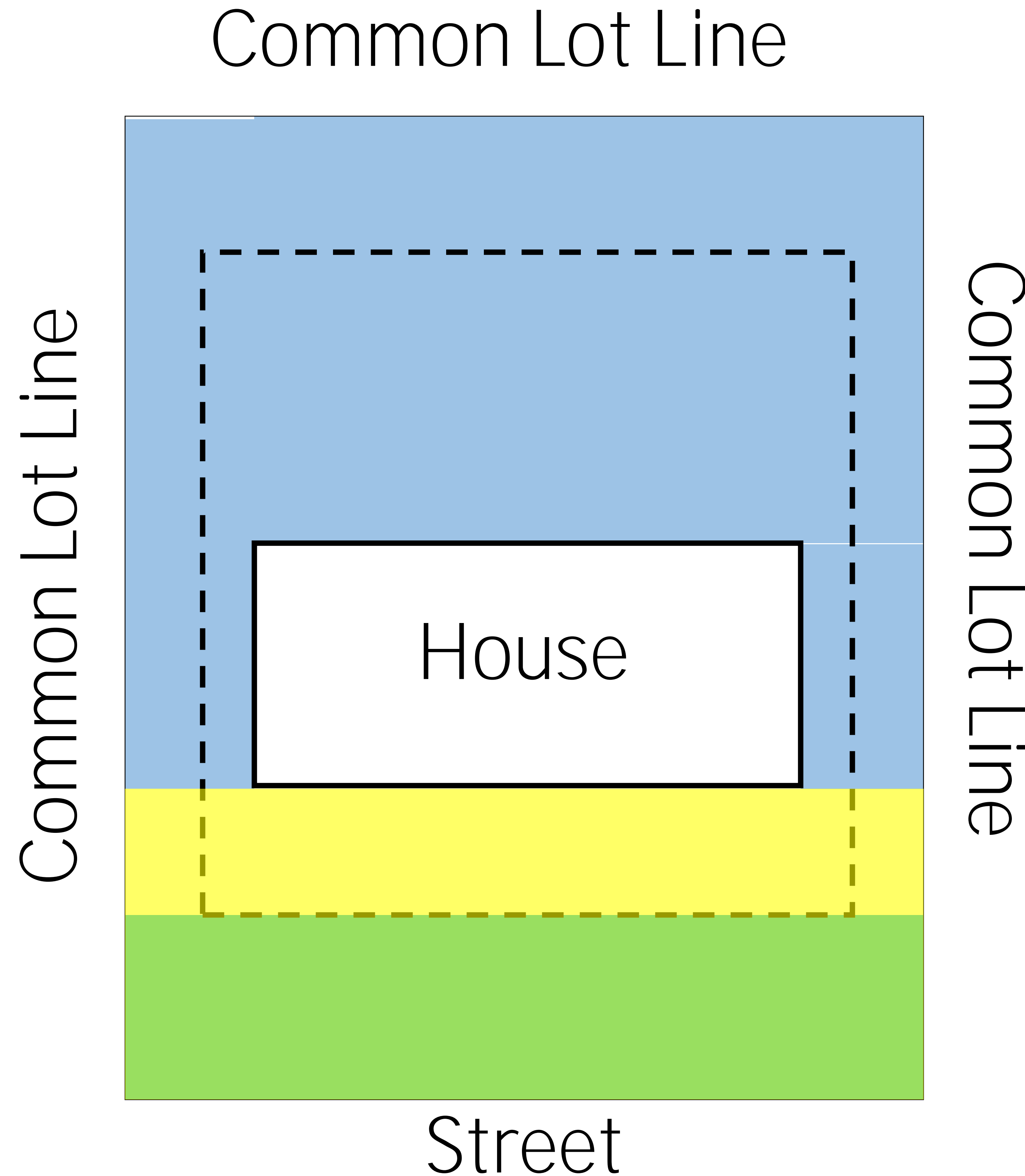
Guest House (Section 7.8.6)

- Only in RE-1 & -2
- Max. one per lot
- Heated Floor Area:
WHICHEVER is LESS
 - 1,200 square feet
 - OR half of principal building
- Rear yard & buildable area
- 2 & 24 (Height)



Fence, Wall, Gate (Section 8.2.10)

- Masonry piers required, max height **for opaque fence is 4'**, max height for spaced **picket fence is 8'**
- Max height for **opaque fence is 4'**, max height for spaced picket fence is **8'**
- **Max height is 8'**, black vinyl chain link allowed

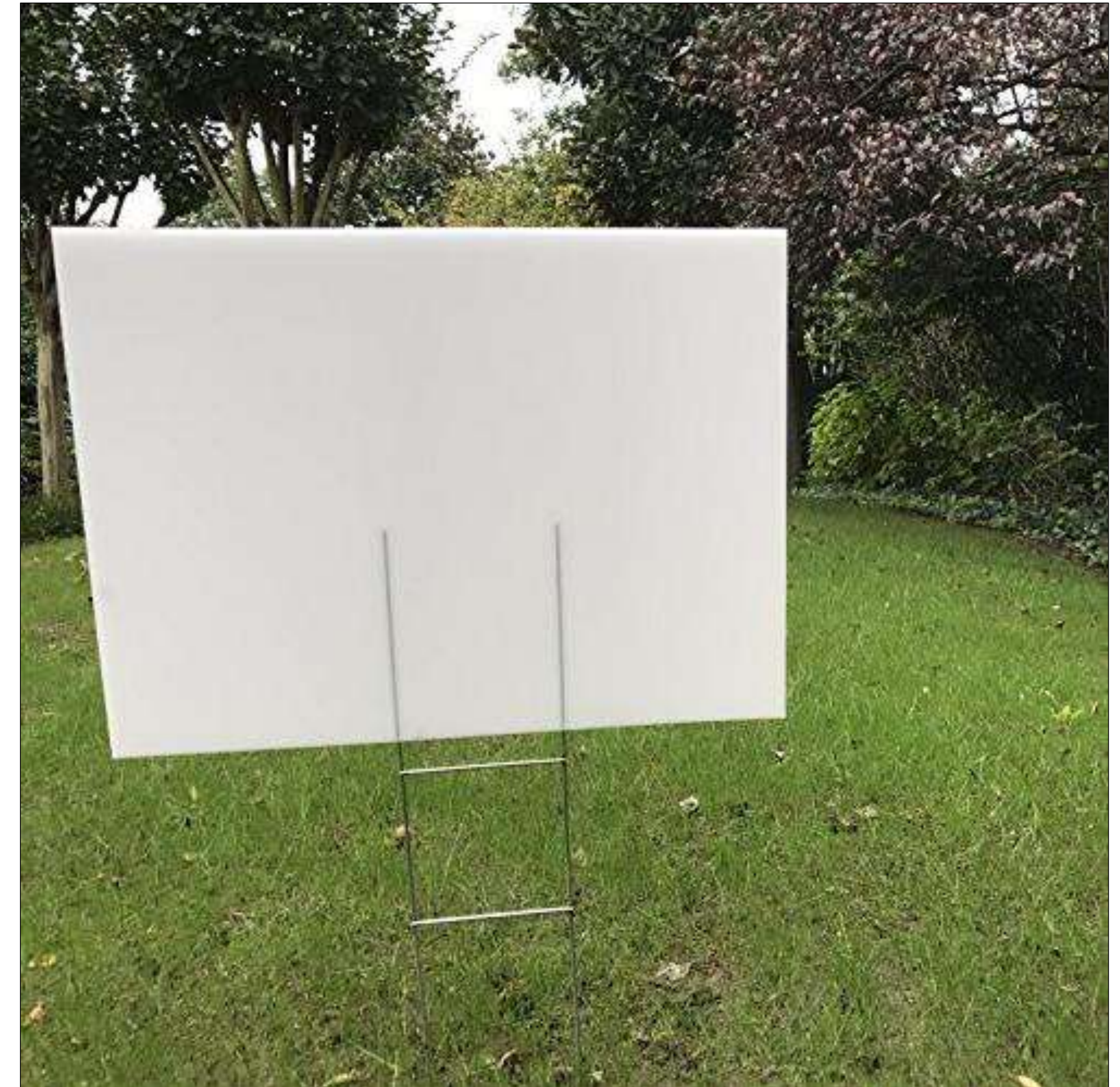


Permitted Materials:

- Wood
- Decorative Metal
- Walls and masonry piers must be finished with brick, stone, or stucco

Signs (Division 8.3)

- Temporary signs (allowed without a permit)
 - Max.: 2 signs
 - Max.: 6 SF
 - *Must be on private property*
- Flags (allowed)
 - Flag pole has min. setback equal to the height of the pole
 - **Ex.: Pole is 30' tall, must be set back 30'** from property line



Review Processes and Applications

Subdivision (Division 11.4)

- Conceptual Plan (Preliminary Plat)
 - Large development
 - Compatible uses
 - Connectivity
 - Guides LDP
- Final Plat
 - Plat with all legal info
 - Boundary info
 - Certification info
- Minor Plat
 - Subdividing of 3 lots or less

Permit Types (Division 11.5)

- Land Disturbance Permit (LDP) – comprehensive site plan (existing/proposed, wall heights, HVAC, lot calculations, trees, etc.)
- Building Residential
 - BR – within parameters of LDP, vertical plans & site plan
- Building Commercial
 - BC – within parameters of LDP, vertical plans & site plan

Permit Types (Division 11.5) (cont.)

- Demo – required prior to any new build at same location
 - Only reviewed by Environmental Officer
- Pool – often concurrent w/ LDP (Int. Pool & Spa Code, screening, etc.)
- RW – retaining walls, as discussed already, typically with LDP
- (FN) Fences and (SG) Signs

Zoning Actions (Division 11.2 & 11.3)

- Character Area Map Amendment (CAM)
 - When proposed zoning is not allowed in that Character Area
 - Future land use map
 - CAM required prior to Rezoning
 - Considered twice annually (Jan. & July)
- Zoning Map Amendment (Rezoning)
 - To change zoning district to another, change zoning boundaries, or modify existing zoning condition
- Conditional Use Permit (CUP)
 - Request to change or expand an existing use



Relief (Division 11.6)

- Two types of Variances from Code:
 - Administrative (from the Director)
 - Board of Appeals (BOA, quasi-judicial hearing)

Administrative Variance

- Not from Technical Manual
- 10% Variance from measurable standard:

(e.g., 10' setback = Variance for encroachment of up to 1 foot into setback)

Board of Appeals (BOA) Variance

- Approximately 2-month timeframe
 - From Pre-Application Meeting through the public hearing
- Public Notice (**neighbors within 500'**)
 - Large sign
 - Mailings
 - Newspaper
- Public Hearing (decision made at this meeting)

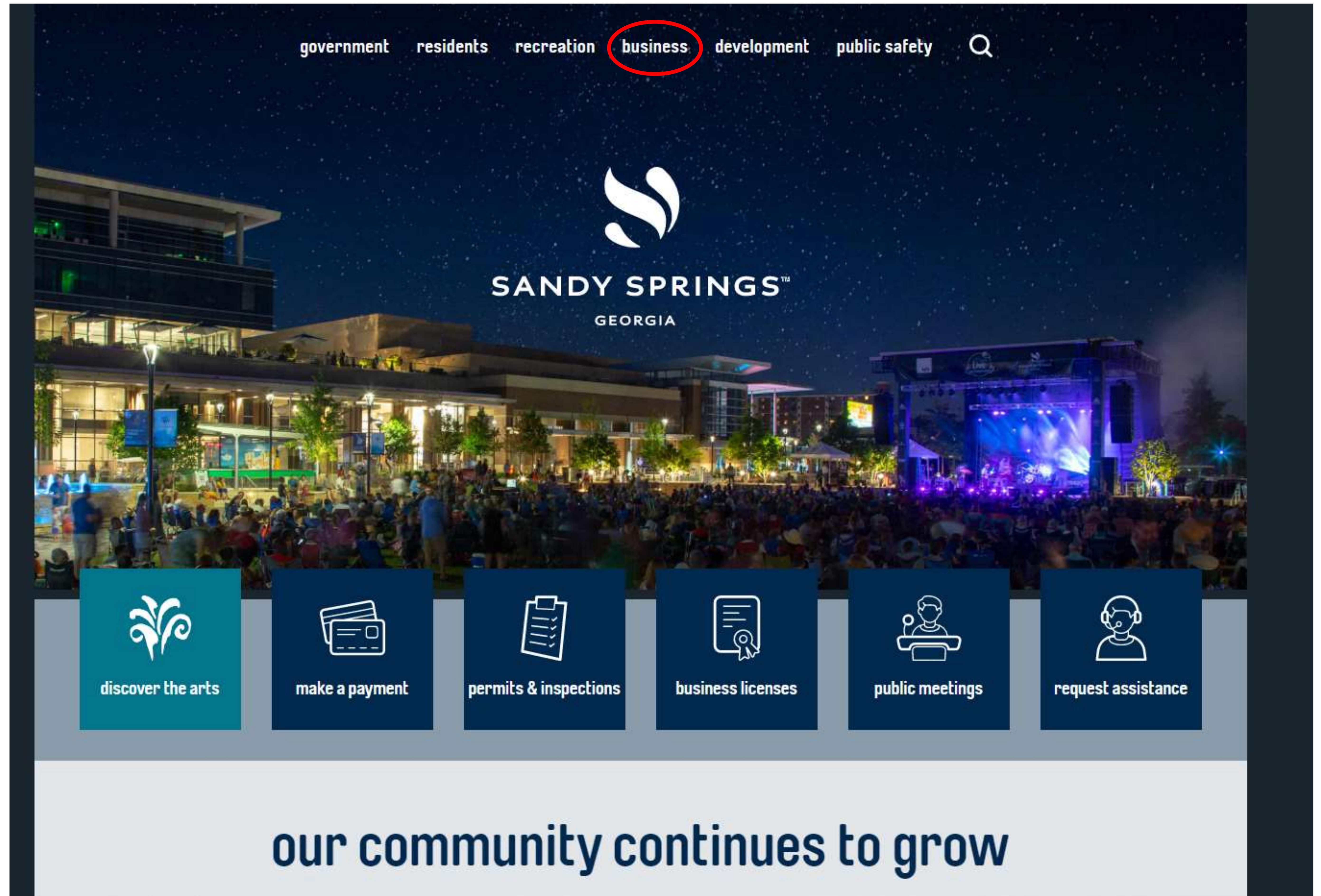
Relief

- What you cannot get a Variance for:
 - Lot area
 - Frontage
 - Width/height
 - CUP standards, etc.
- To get a Variance, the Board of Appeals must determine that you meet the following criteria:
 - **Must be a HARSHIP...not inconvenience**
 - Extraordinary & exceptional site conditions
 - Not self-imposed
 - Min. relief necessary for use of property
 - **Consistent with Dev. Code and Comp. Plan...not detrimental to public**



How Can I Find Other Information?

Website <https://www.sandyspringsga.gov/>



Call or Email

Email: PZ@SandySpringsga.gov

Phone: (770) 730-5600

Planner of the Day Counter

- Ask questions about anything planning and zoning
- Check the status of permit
- Fence permits & temporary sign permits issued over the counter

Zoning Certification Letter (ZCL)

- What information does a ZCL provide?
 - Zoning district designation
 - Zoning conditions
- How do I request a ZCL?
 - Submit a request letter to the Planning and Zoning Division
 - Include the address and a survey/Parcel ID #
 - Include a check for the \$30 fee

Open Records Request (ORR)

- Other official documents
- How do I request an ORR?
- <https://www.sandyspringsga.gov/city-records-and-open-records-requests>

Developer's Meeting

- Ask questions
- Discuss plan with multiple departments at once
 - Bring plans
 - Bring comments
- **How do I schedule a Developer's Meeting?**
 - Miranda Fields: MFields@SandySpringsga.gov

Submittal Requirements

- Original Submittal:
 - Complete set of construction documents including structural sheets
 - Include a cover page with the referenced Building Codes, design criteria, sheet index and key plan
 - Provide an electronic PDF file of all the construction documents on a USB thumb drive
- Revisions:
 - All revisions shall be clouded, dated and clearly labeled
 - Owner is responsible for inserting the revised sheets into the previously permitted set
 - Provide an updated electronic PDF file of all the construction documents including the revised sheets on a USB thumb drive



Questions