# SITE PLAN REQUIREMENTS FOR DESIGN PROFESSIONALS

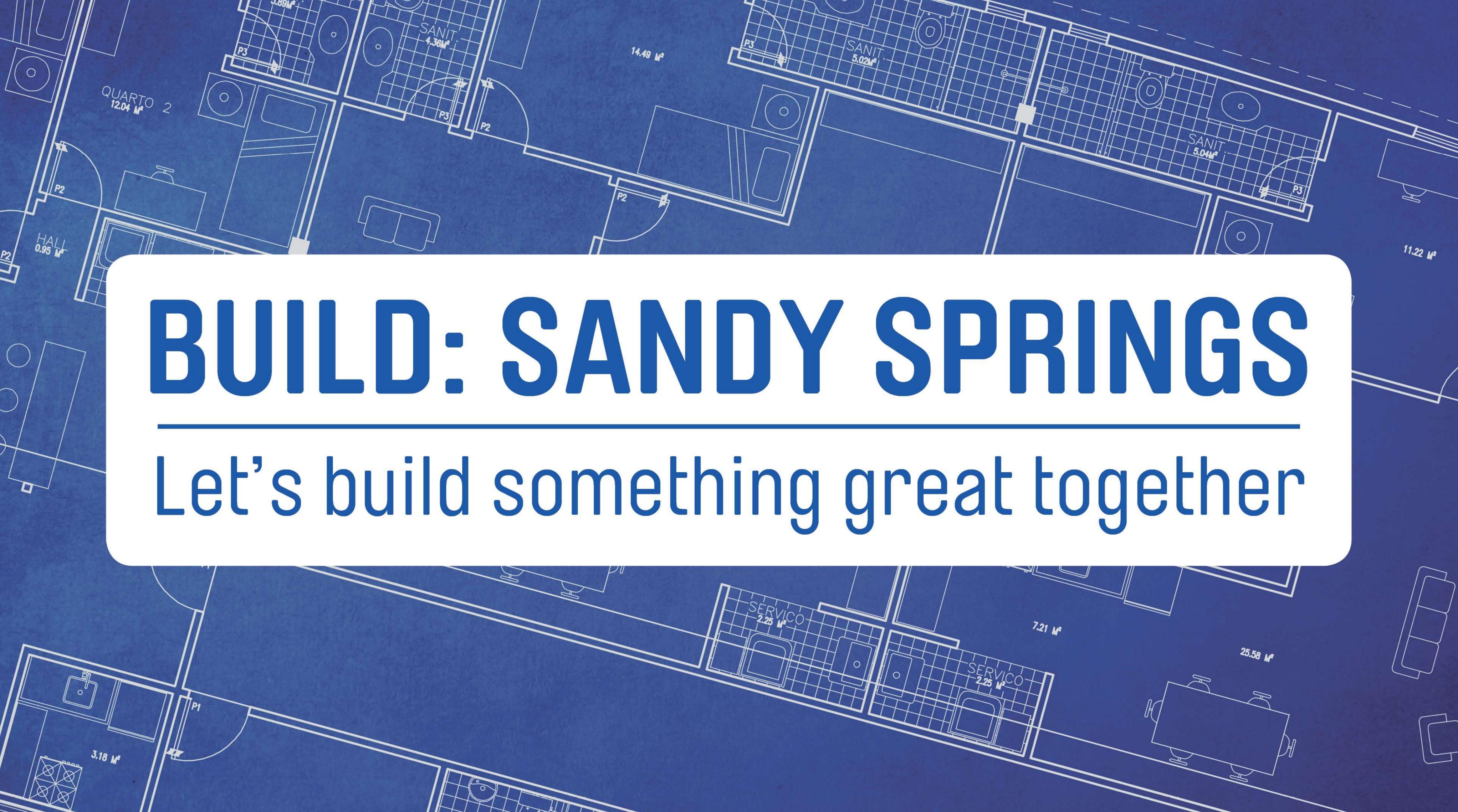
Attend the next BUILD: SANDY SPRINGS webinar to learn about all the submittal requirements that are required to be shown on the site plan drawings (which may include civil and landscape drawings) before they can be approved. Many of the things that makes Sandy Springs such a desirable area to live such as topography, trees, rivers and creeks also makes designing new structures a challenge. We will go into detail about the State and Local design requirements and how to effectively convey these requirements into the site plans.

This seminar is free and open to the public. It is strongly recommended for all surveyors, civil engineers and landscape architects. Due to the recent COVID variants, this will be a virtual event. You don't want to miss this next great webinar!

Wednesday, August 18, 2021 When: 9:00am to 10:30am Webinar link will be sent via Where: e-mail after you register Free (you must register online Cost: to attend) Register: spr.gs/BuildSeminars

**BUILD: SANDY SPRINGS** Let's build something great together





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• "BUILD: SANDY SPRINGS" is a series of seminars presented by the Community Development department of the City of Sandy Springs, GA.

 It is intended to educate the public on the current policies, procedures and expectations of the City of Sandy Springs, GA as it relates to construction within the jurisdiction.

• The information presented in these seminars is subject to change with new Code adoptions, changes in City ordinances and zoning, and changes in office policy as it relates to current construction trends.

## **BUILD: SANDY SPRINGS** Let's build something great together



# SITE PLAN REQUIREMENTS FOR DESIGN PROFESSIONALS



## August 18, 2021

## Permitting

- Document Submittal Requirements • Step 1 - Zoning District • Step 2 - Building Setbacks Step 3 - Maximum Lot Coverage Impervious Calculations Step 4 - Minimum Tree Canopy Coverage Tree Canopy Calculations
- The "Plan Review Process"  $\bullet$ • Zoning & Design Requirements

# Table of Contents

• Zoning & Design Requirements (cont.) • Step 5 – Grading Limits • Step 6 – Locate All Other Items • <u>Sample Site Plan Drawings</u> • Green Infrastructure • As-Built Drawing • <u>Certificate of Completion</u> Questions



# Permitting



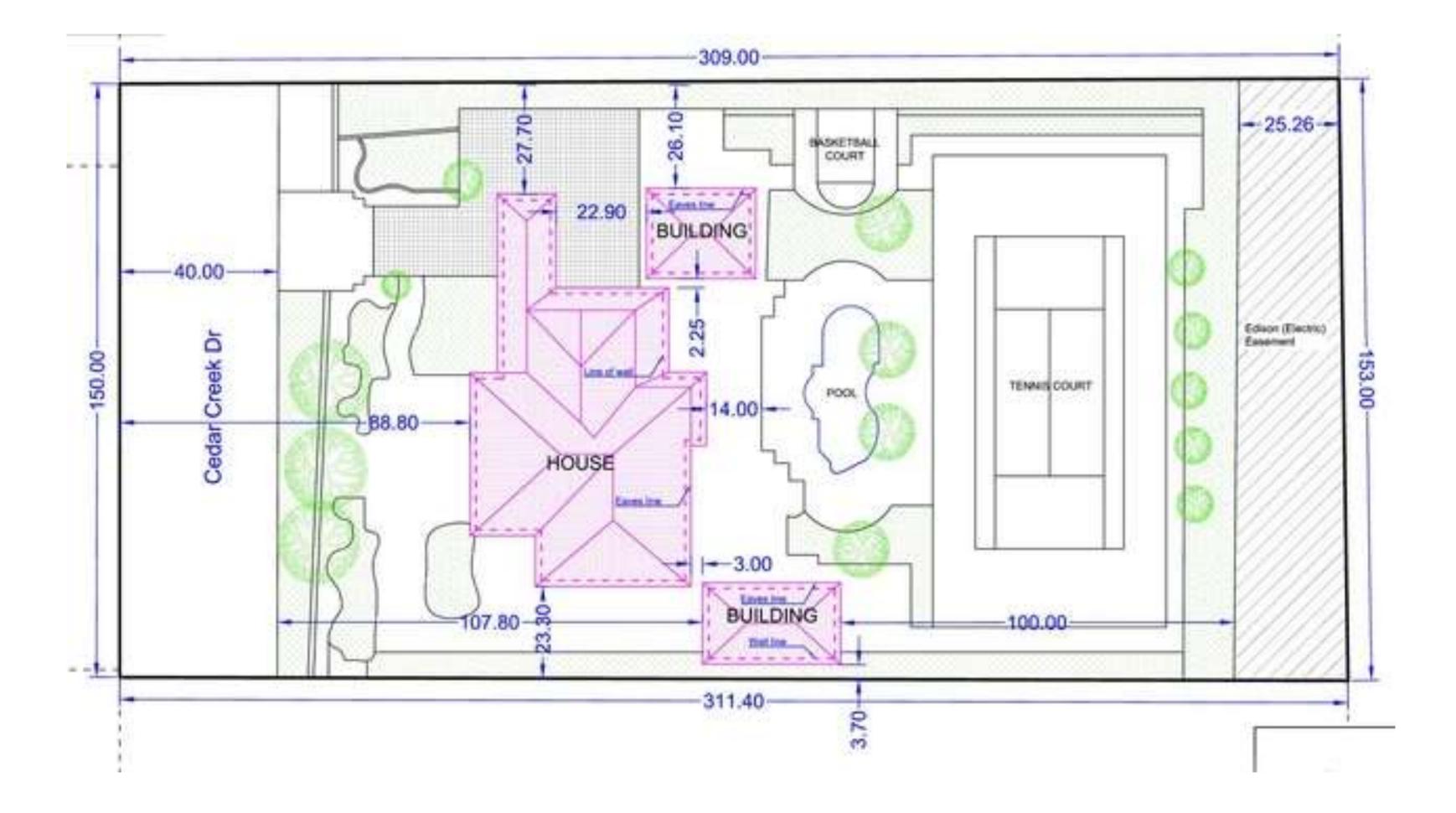
## When is a Permit Required?

• 2018 International Building and Residential Codes (IBC and IRC)

• When you "construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert, replace any electrical, gas, mechanical or plumbing system...".

<u>COSS Development Code</u>
 Article 11: provides additional permitting information.





## Why do you need a Permit?

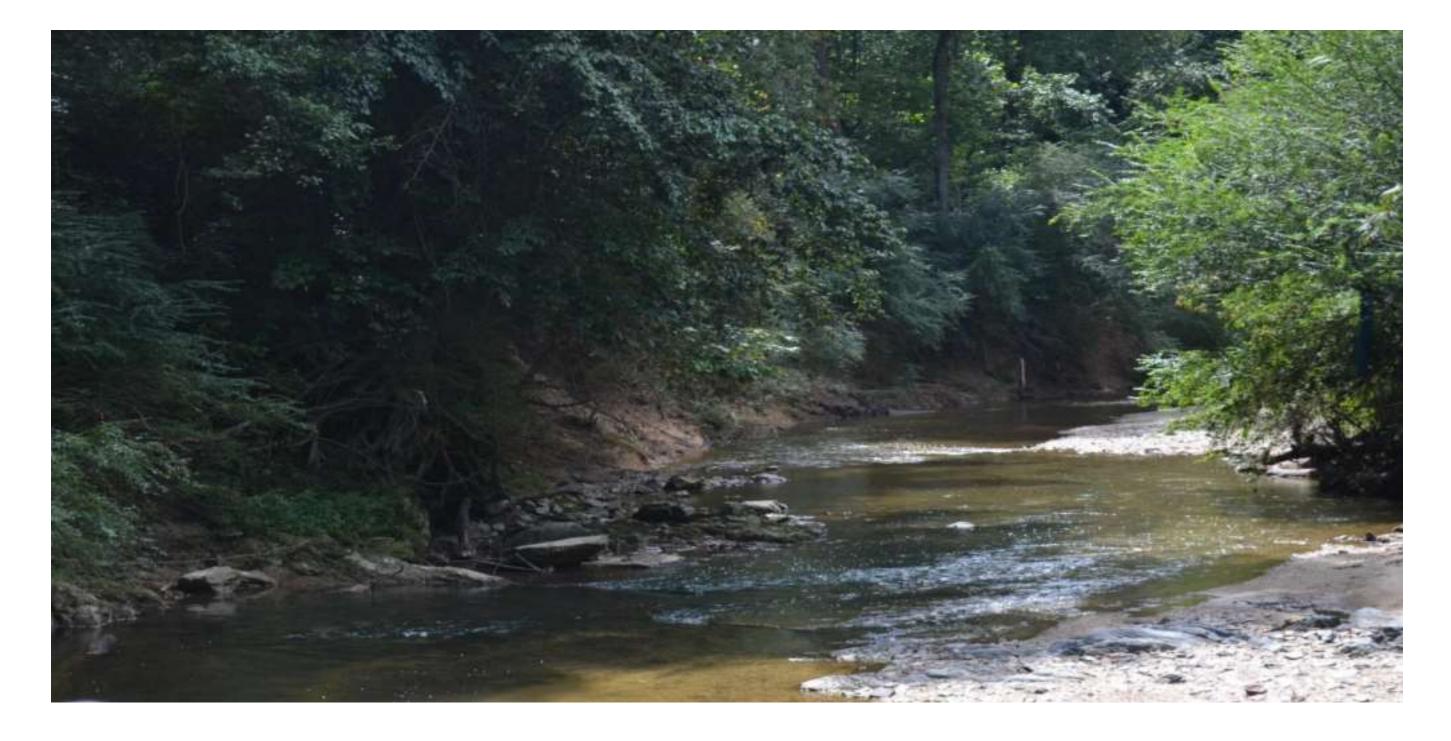
- of buildings, land and structures.
- adversely affected by construction:
  - Chattahoochee River Corridor
  - Nancy Creek Sensitive Area
  - Stream Buffers
  - Soil Erosion

• The purpose of the Codes is to provide a reasonable level of safety and protection of health, property and public welfare by regulating and controlling the design, construction, installation, quality of materials, location and maintenance or use

• Ensure that the *natural environment is not* 







## Apply In-Person

• You can apply for a permit in-person at City Hall located at:

> 1 Galambos Way Sandy Springs, GA 30328

- All in-person applications are by appointment only using the City's online queue management system called Qless
- To schedule an appointment online, go to the following website to register:

spr.gs/chq

• The City only accepts electronic PDF files and all construction drawings shall be a single PDF file.

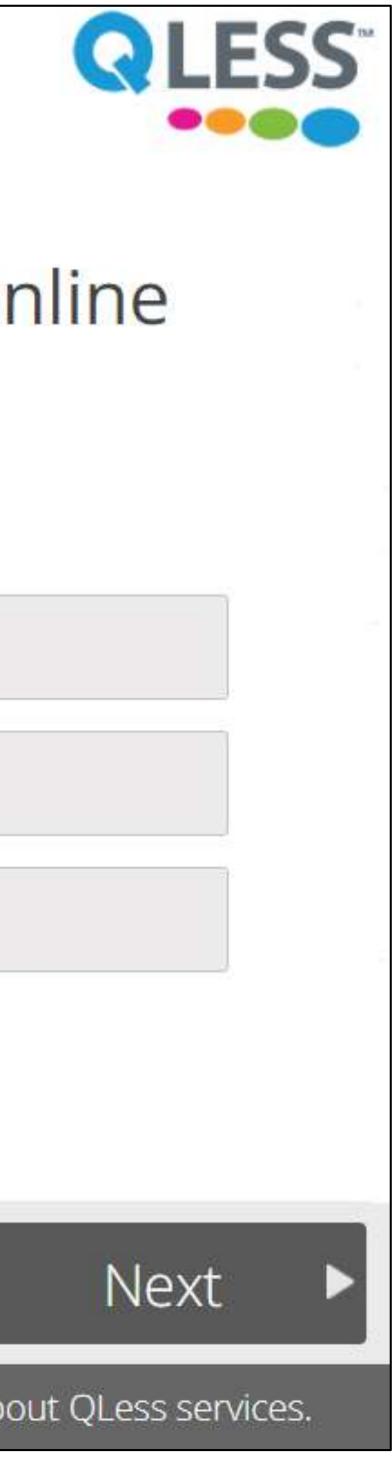




## Welcome to the City of Sandy Springs' online appointment system. Please tell us about your self.

Standard text messaging rates will apply.

By entering your cellphone number, you agree to receive text messages and information about QLess services.



## Apply Online

- Customer Self Service (CSS) is the City's online permitting software that allows all applicants (such as homeowners, design professionals, contractors, etc.) to do the following:
  - Apply for all building permits
  - Upload construction documents
  - Download City review comments
  - Request inspections
  - Pay invoices

## and more...

• Customer Self Service (CSS) is a replacement to the older Contractor Access Portal (CAP)



## 8

Login into an existing account or create a new account. You can also find help here if you forgot your

## Ð

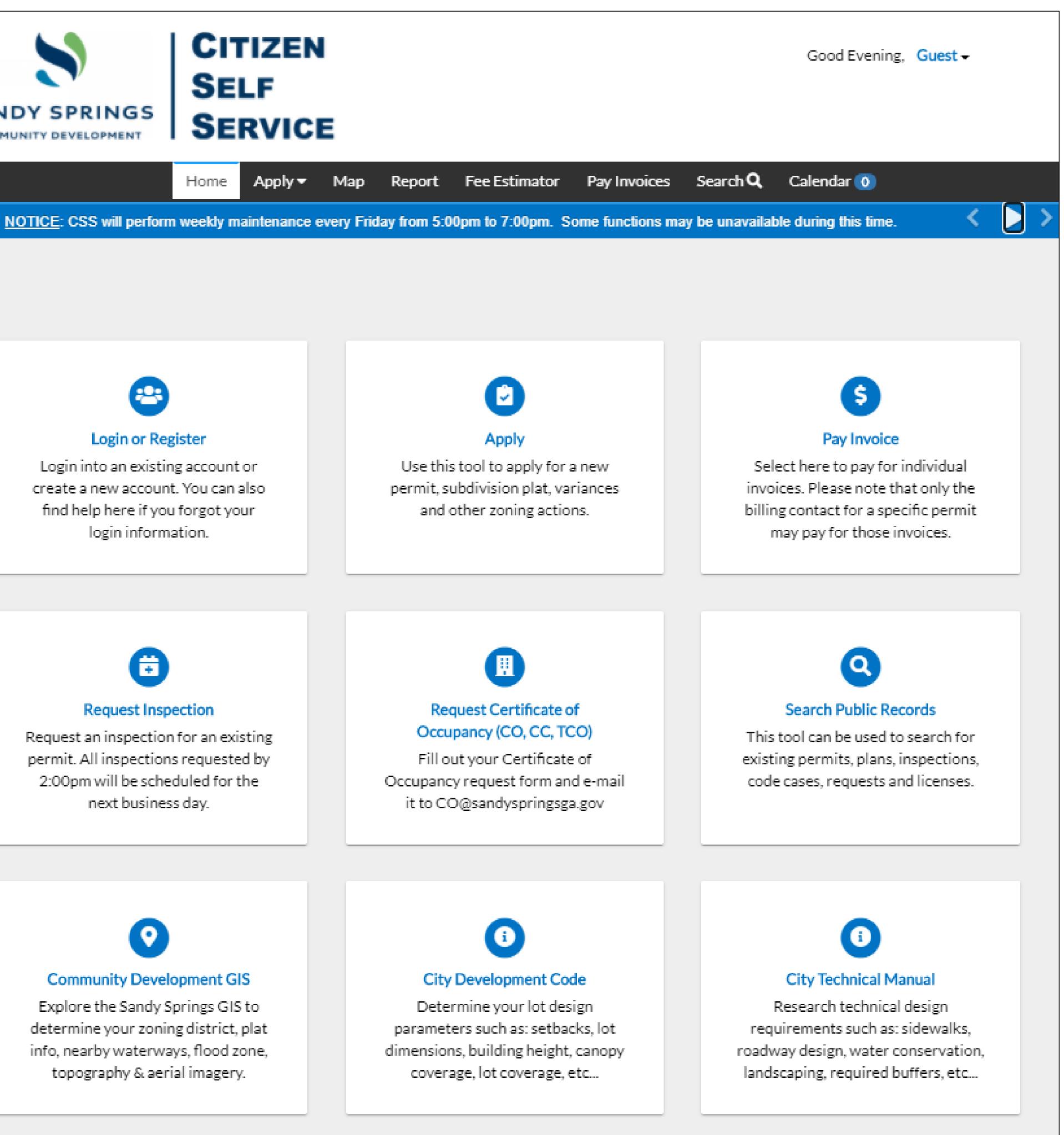
## Request Inspection

Request an inspection for an existing permit. All inspections requested by 2:00pm will be scheduled for the next business day.

## Community Development GIS

Explore the Sandy Springs GIS to determine your zoning district, plat info, nearby waterways, flood zone, topography & aerial imagery.

Home Apply -Map

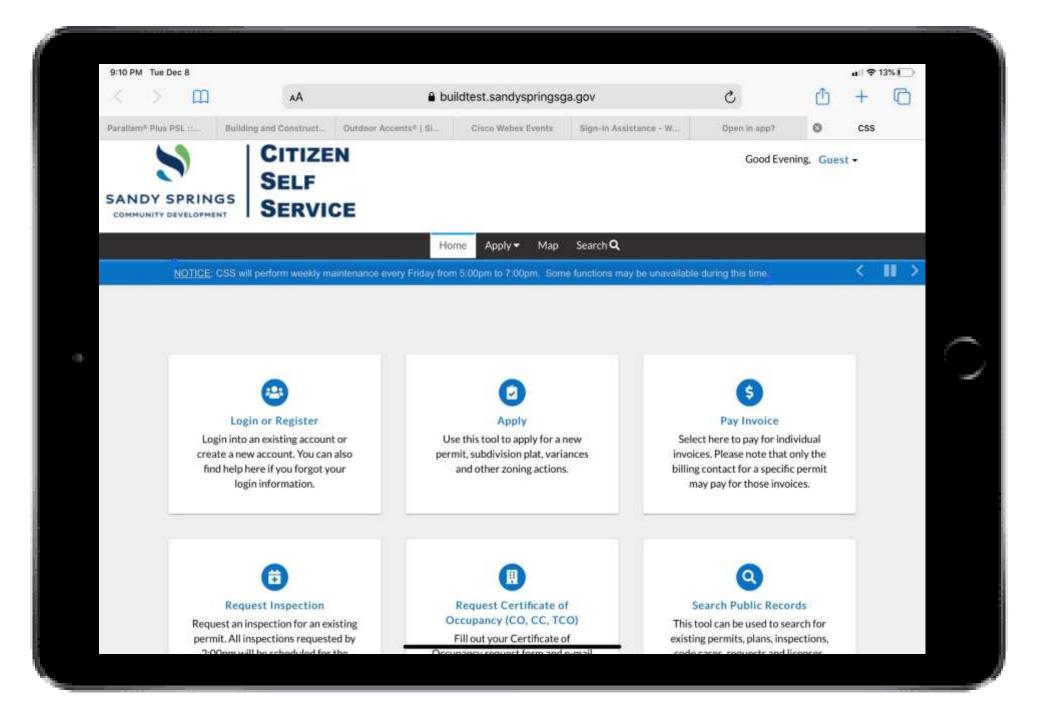


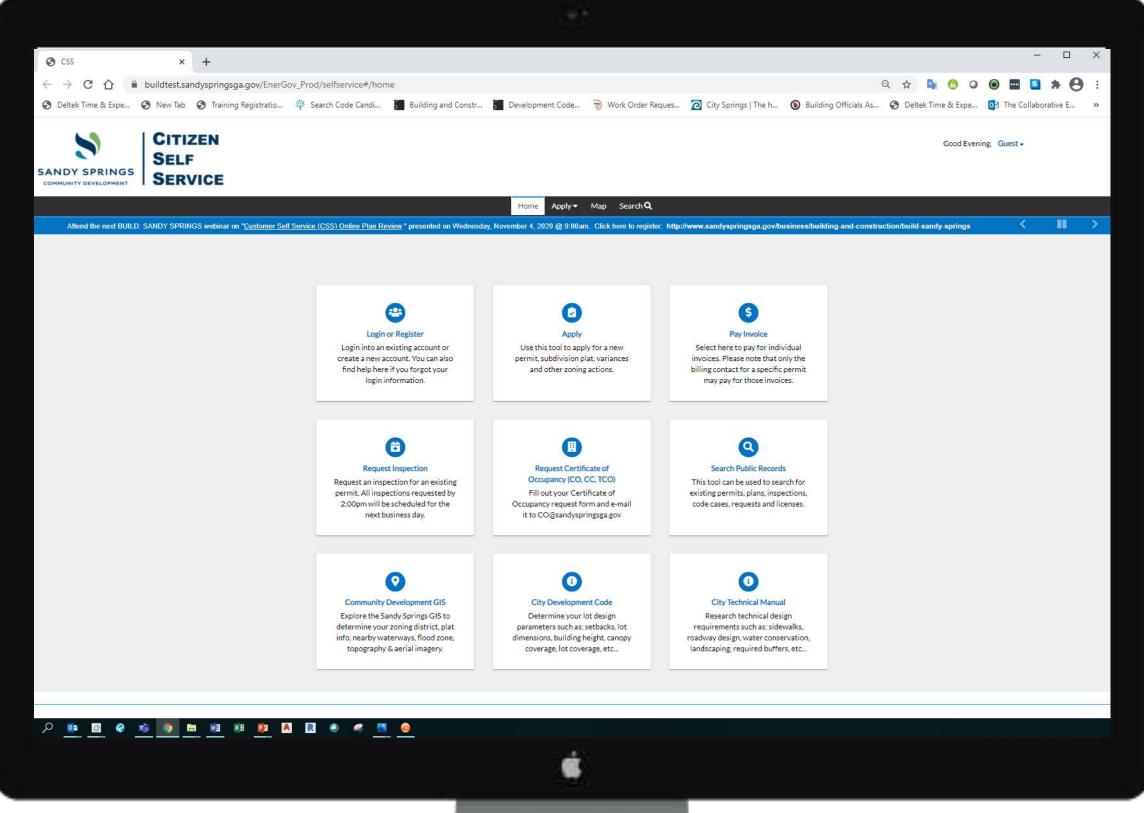
## Why apply online?

- Accessible from anywhere with an internet connection, 24 hours a day, 7 days a week.
- It is mobile device friendly! • Can work on multiple web browsers:
- Home screen is icon based
- Includes step by step data entry
- Easier project management
- Save your progress before finishing
- Create templates for repetitive permit types

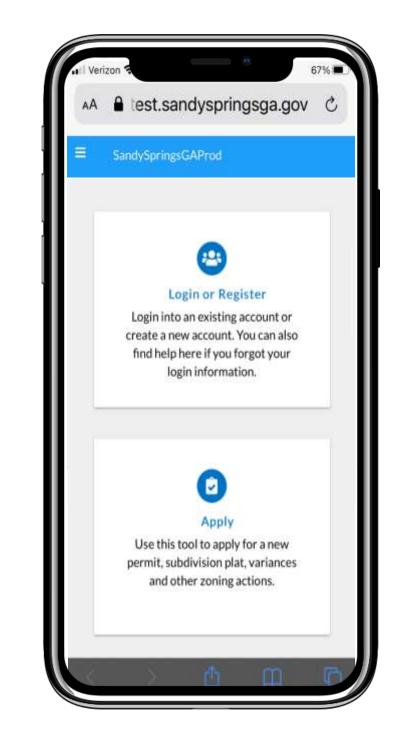
https://build.sandyspringsga.gov







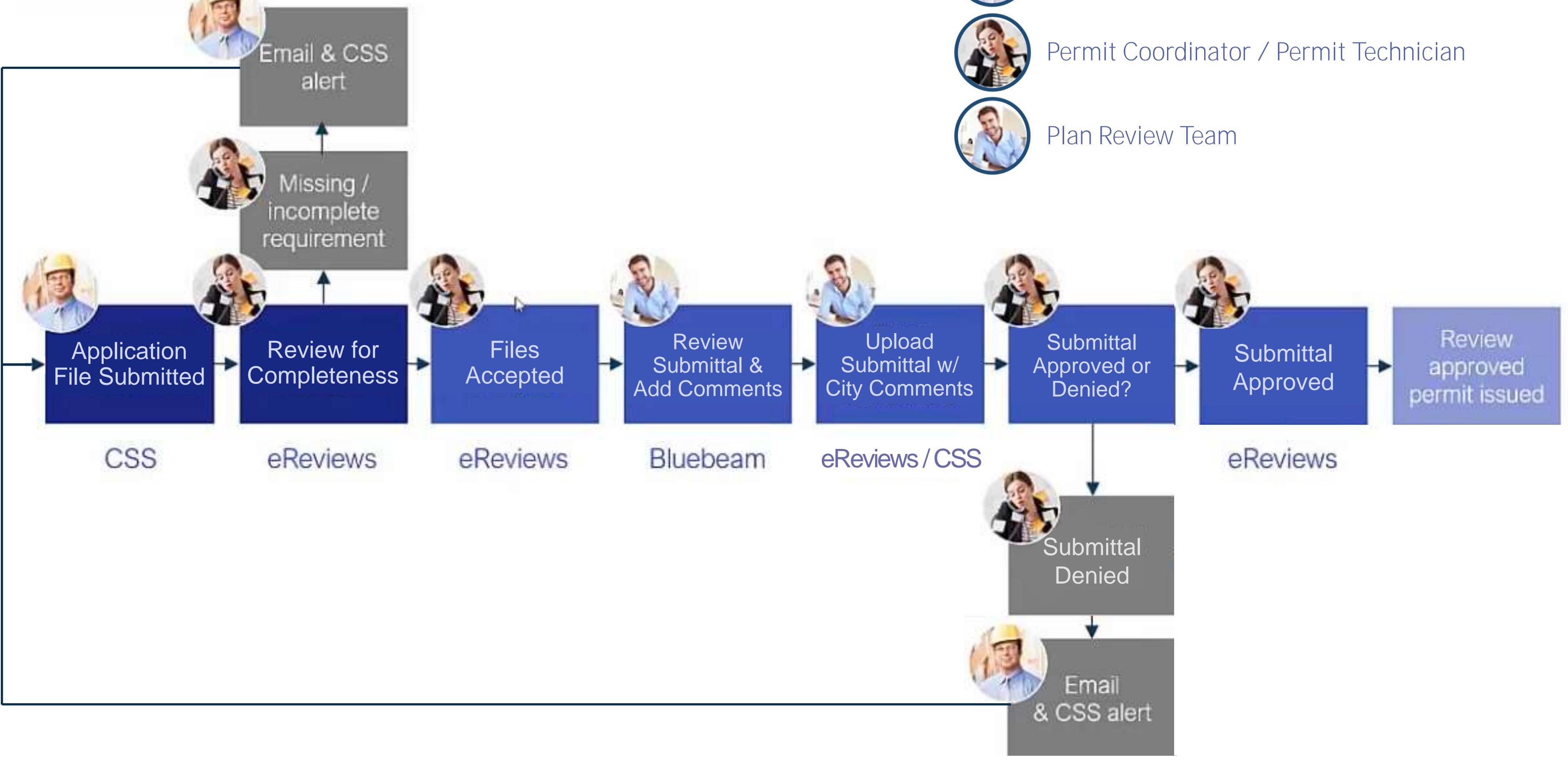




# The "Plan Review Process"



## The Plan Review Process



Applicant (Builder, Homeowner, etc.)



# Document Submittal Requirements



## Site Plan Document Submittal Requirements

- At Permit Application:
  - Completed Permit Application (separate PDF file) Indicate the Billing Contact
- - Indicate the On-Site Contact (superintendent)
  - Contractor Affidavit (separate PDF file)
    - Include a copy of the current State License, Business License and Driver's License
  - Complete Set of Site Construction Documents (combined into a single PDF file)
    - Cover Page w/ Project Description, Site Data and <u>Sheet Index</u> Site Plan w/ Lot Coverage Calculations

    - Grading Plan w/ Top & Bottom Wall Elevations • Erosion Control Plan & Details
    - Tree Canopy Plan w/ Minimum Tree Canopy Calculations • Landscape Plan w/ Fencing and/orPool Equipment Screening Indicated

## Document Submittal Requirements

- At All Resubmittals & Revisions:
- <u>City Policies</u>

• All Revisions shall be clouded, dated and clearly labeled • Every Resubmittal and Revision shall include ALL construction drawings saved in a single PDF file regardless if changes were made on a particular sheet or not. • If new sheets are submitted, the sheet index must be updated.

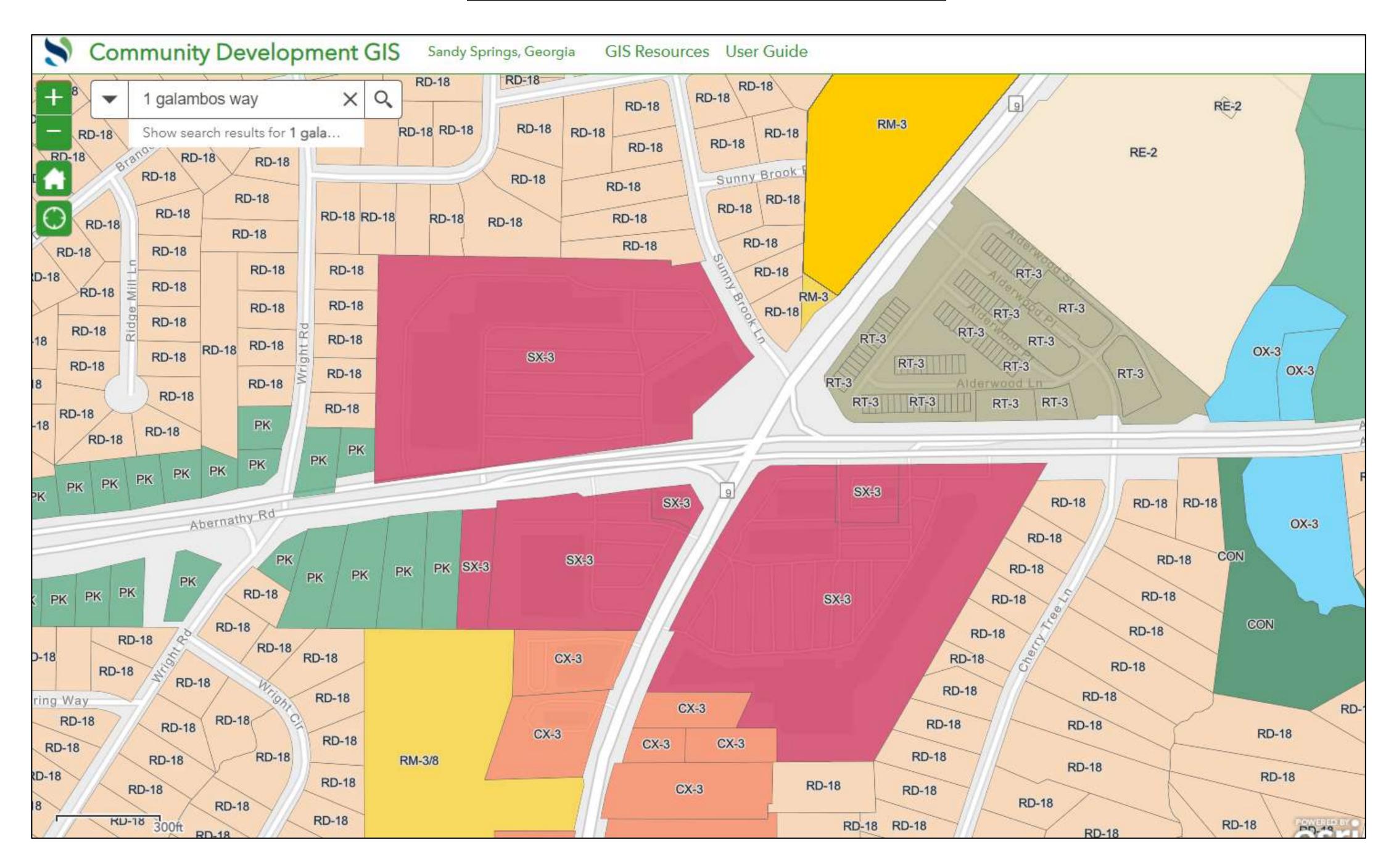
• All submittals will be reviewed in the order they are received. • Incomplete construction documents will be returned to the customer and will not be reviewed resulting in a customer delay. • Resubmittals and Revisions that are not clouded will be returned to the customer and will not be reviewed resulting in a customer delay. • Every resubmittal after the first revision will be charged a \$200 resubmittal fee. • All drawings shall be coordinated across multiple permits

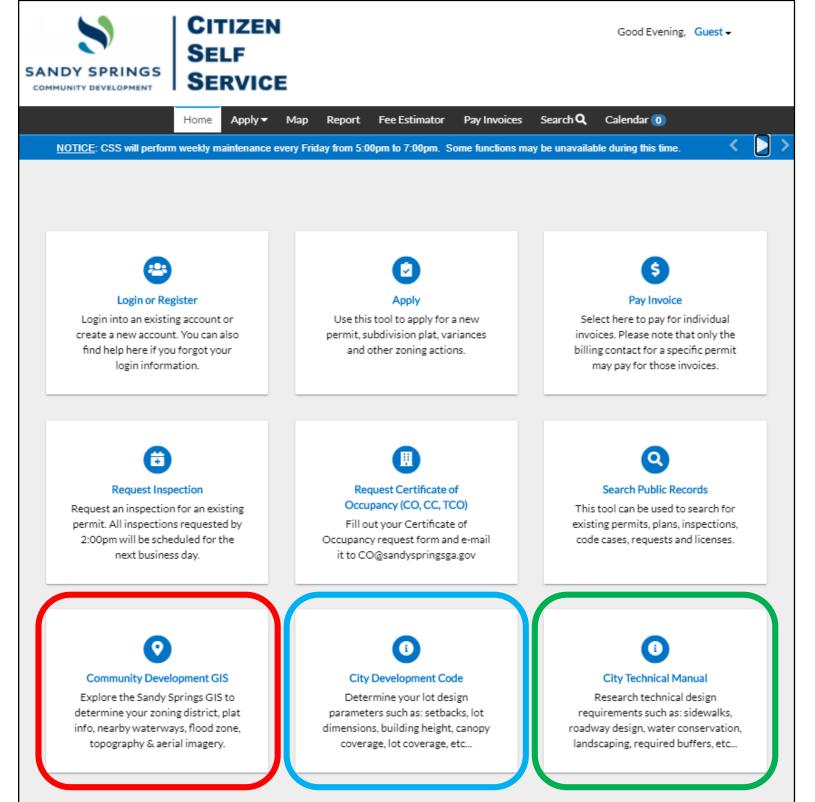
# Zoning & Design Requirements



## Step 1: Zoning District

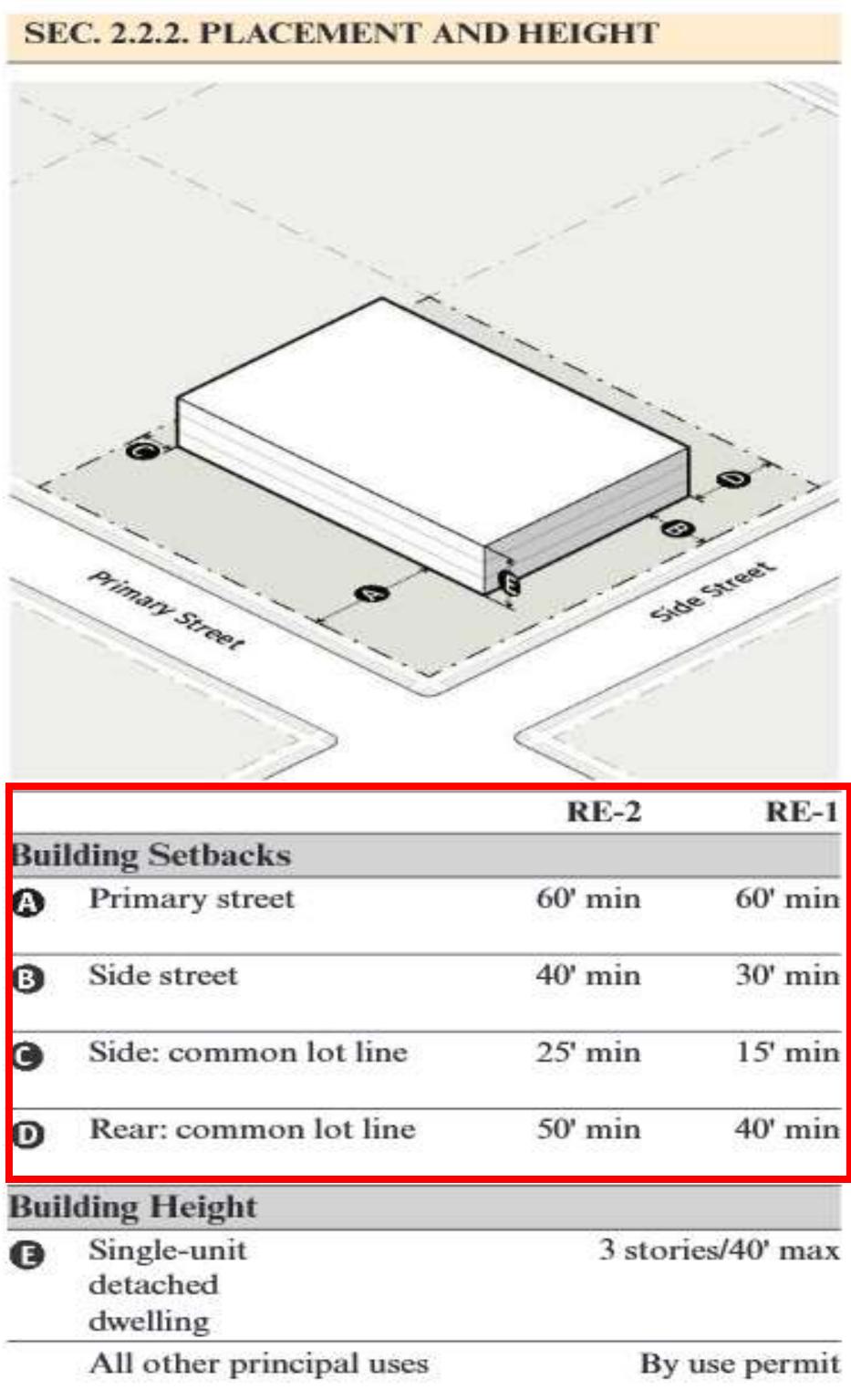
- To begin any project, you must first determine what zoning district your property is zoned for.
- This can be determined on the City's GIS website. A link to the website can be found at build.sandyspringsga.gov.
- Simply enter your address at the top left and the zoning district will be the shaded region your property is located.





## Step 2: Building Setbacks

- After determining the Zoning District, refer to the development code to determine your building setbacks.
- Building set-backs are located in the Development Code:
  - Article 2 Protected Neighborhoods
  - Article 3 Urban Neighborhoods
  - Article 4 Corridors & Nodes
  - Article 5 Perimeter Center
  - Article 6 Rules for all Districts
- Locate the corresponding zoning chart to determine the Building Setbacks



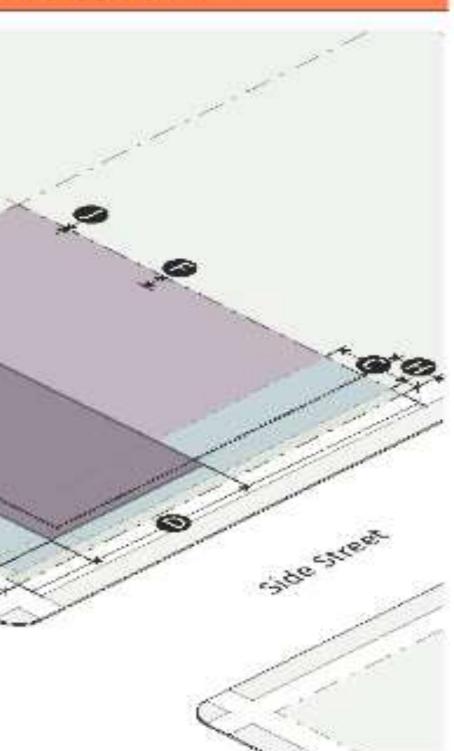
(Ord. of 4-17-2018(3), §§ 2-4, 2-5)

	RE-2	<b>RE-1</b>
tbacks		
y street	60' min	60' min
reet	40' min	30' min
ommon lot line	25' min	15' min
ommon lot line	50' min	40' min

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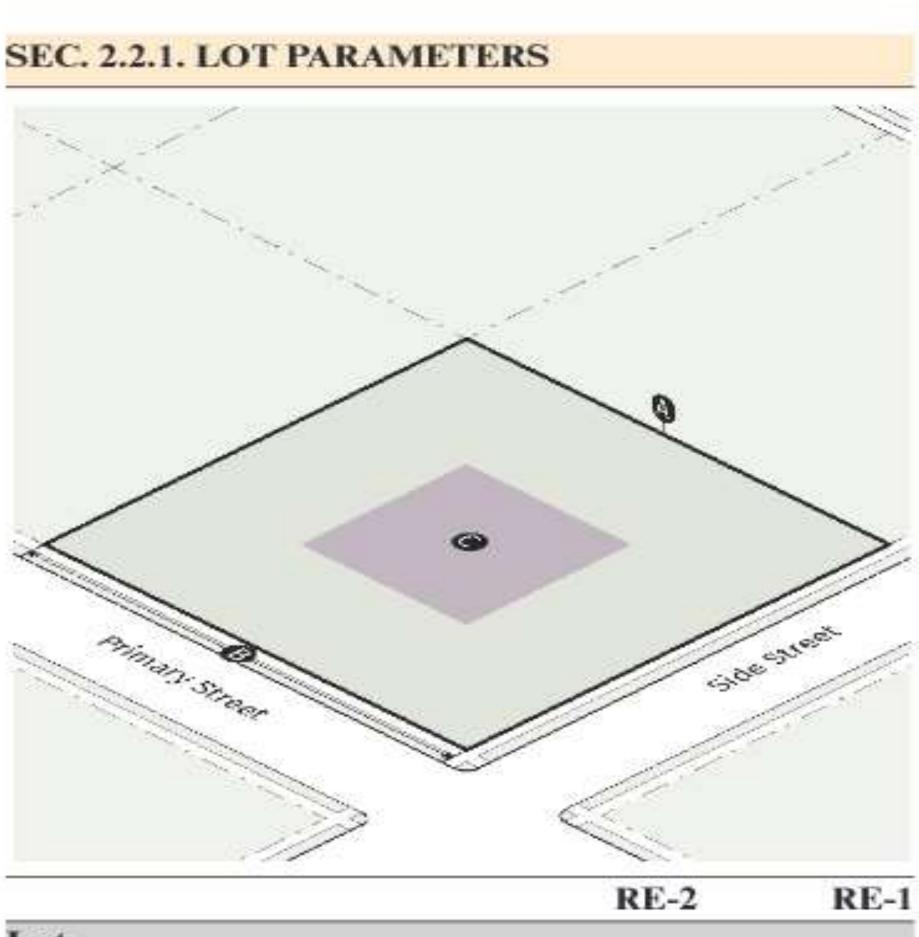
	<b>B</b> 10000000
g	
ed	
unit	3 stories/4

SE	C. 4.4.2. BUILDING PLACEMENT	
9		- 010
//		Side Street
		-Side
Buil	d-to Zone	
0	Primary street	3' min/20 ma
0	% of building facade in primary street build-to zone	80% mi
0	Side street	3' min/20 ma
O	% of building facade in side street build-to zone	40% mi
Side	and Rear Building Setbacks	
Ø	Side: common lot line	0' mi
	Side: alley	5' mi
G	Rear: common lot line	0' mi
	Rear: alley	5' mi
	Abutting a Protected Neighborhood	see Div. 6.
Parl	king Setbacks	
G	Primary street	20' mi
0	Side street	10' mi
0	Side: common lot line/alley	0' mi
0	Rear: common lot line/alley	0' mi
	Abutting a Protected Neighborhood	see Div. 6.



## Step 3: Maximum Lot Coverage

- Maximum Lot Coverages are located in the Development Code:
  - Article 2 Protected Neighborhoods
  - Article 3 Urban Neighborhoods
  - Article 4 Corridors & Nodes
  - Article 5 Perimeter Center
  - Article 6 Rules for all Districts
- Locate the corresponding zoning chart to determine the Maximum Lot Coverage

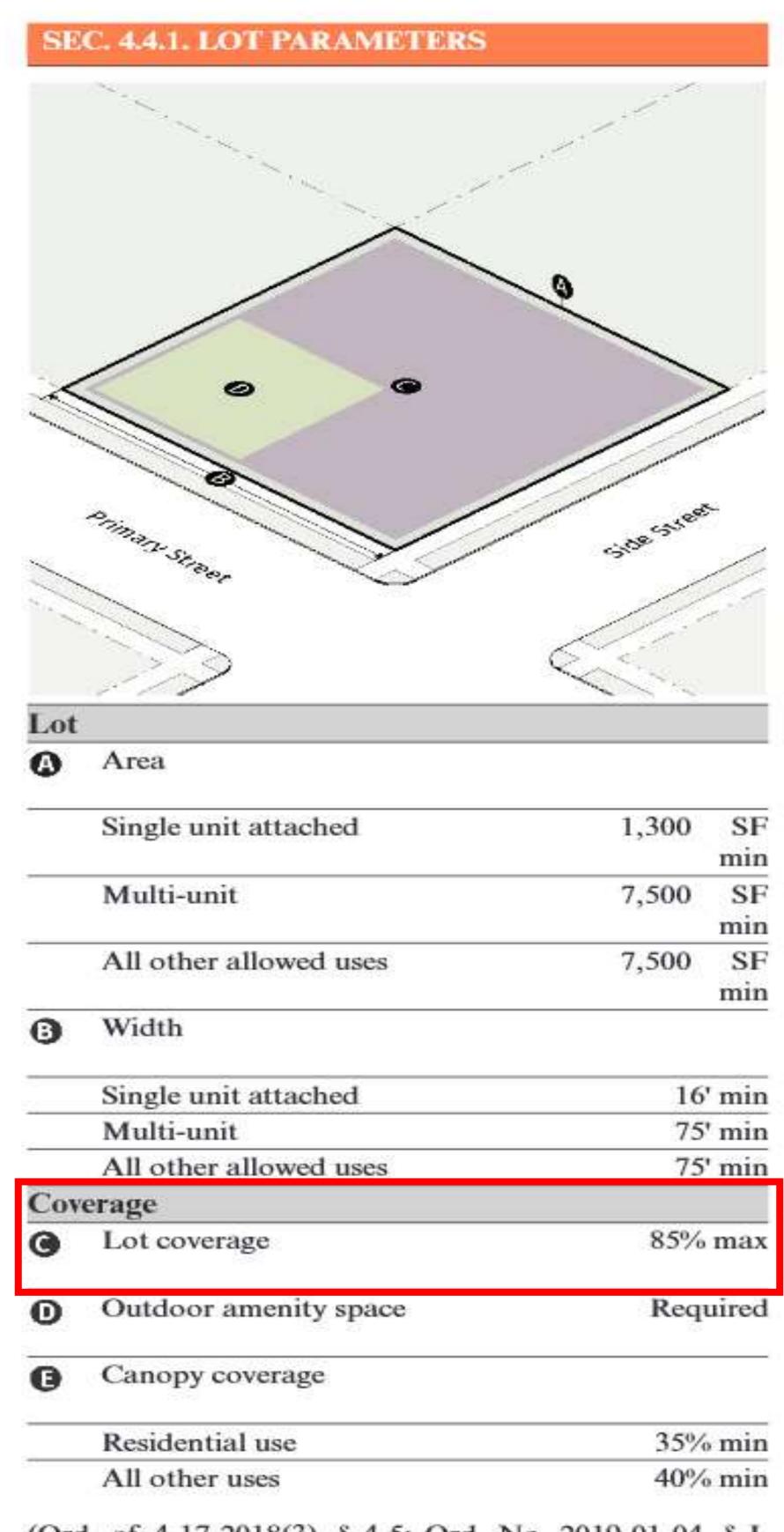


		RE-2	KE-1
Lot	ŝ.		
0	Area		
	Single unit detached	2 acre min	1 acre min
	All other allowed uses	10,000 SF min	10,000 SF min
0	Width		
	Single unit detached	200' min	150' min
	All other allowed uses	100' min	100' min
Cov	erage		
0	Lot coverage		
	Residential use	25% max	25% max
	All other principal uses	By use	permit
0	Canopy coverage		
	Residential use	35% min	35% min
	All other uses	40% min	40% min
(Ore	d. of 4-17-2018(3), § 2-3)		

## Div. 2.2. Residential Estate (RE-2, -1)\*

(010.01 +17-2010(5), 92-5)

## Div. 4.4. Commercial Mixed Use (CX-)



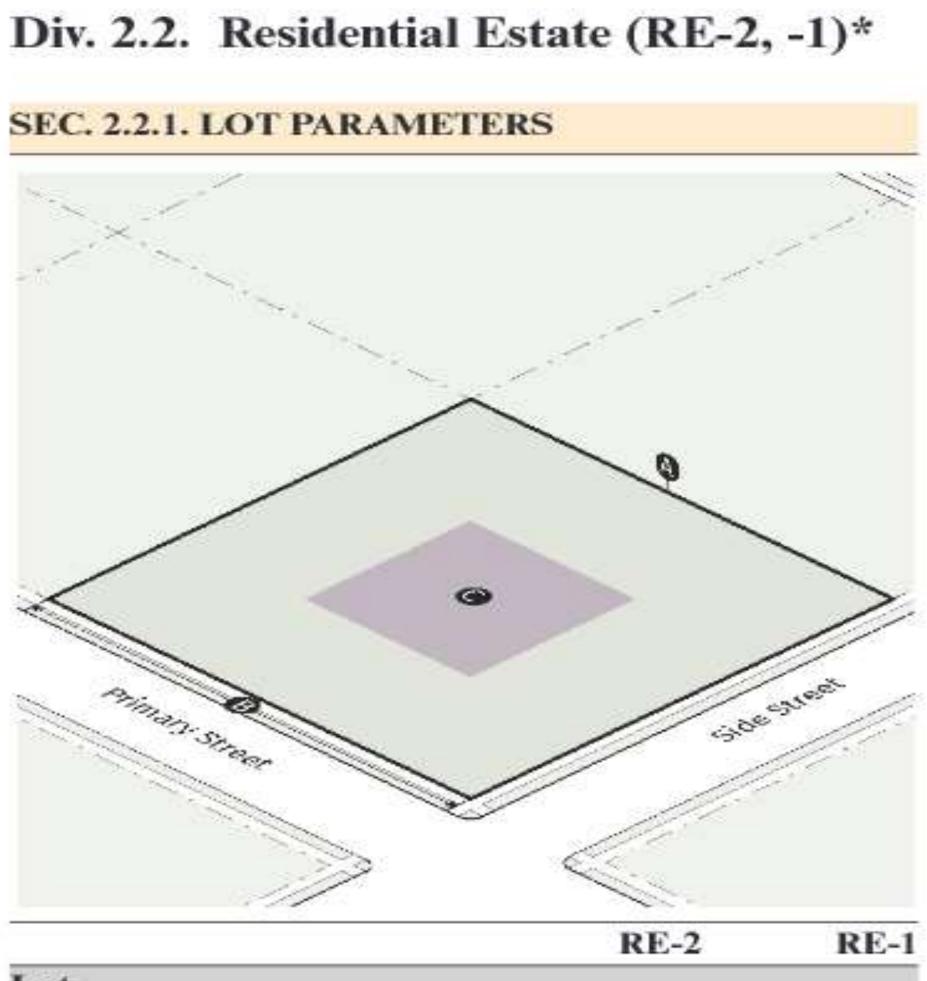
(Ord. of 4-17-2018(3), § 4-5; Ord. No. 2019-01-04, § I, 1 - 15 - 2019

1,300	SF min
7,500	SF min
7,500	SF min

16' min
75' min
75' min

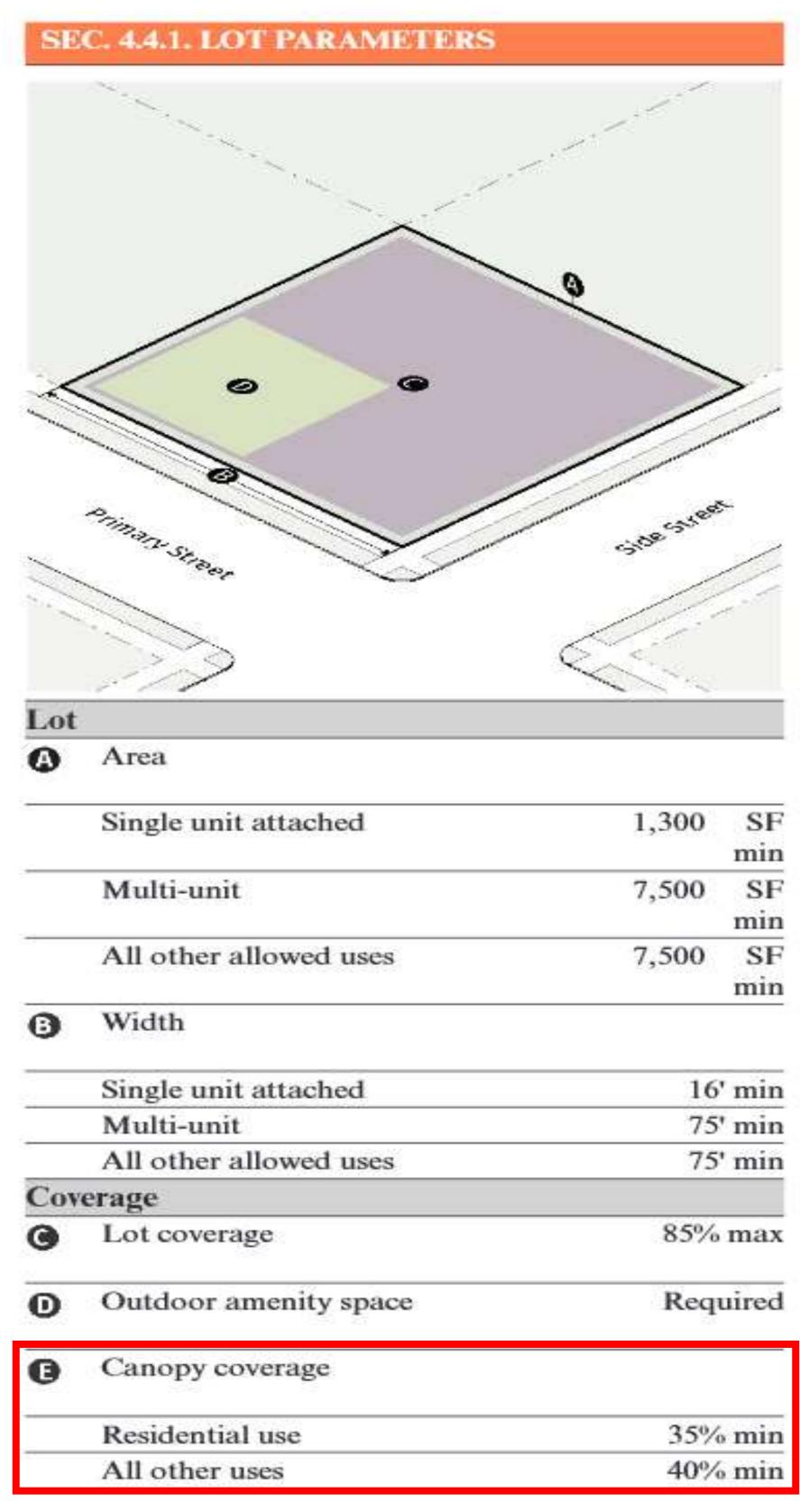
## Step 4: Minimum Tree Canopy Coverage

- Minimum Tree Canopy Coverages are located in the Development Code:
  - Article 2 Protected Neighborhoods
  - Article 3 Urban Neighborhoods
  - Article 4 Corridors & Nodes
  - Article 5 Perimeter Center
  - Article 6 Rules for all Districts
- Locate the corresponding zoning chart to determine the Minimum Tree Canopy Coverage



		NL-2	KL-1
Lot			
0	Area		
	Single unit detached	2 acre min	1 acre min
	All other allowed uses	10,000 SF min	10,000 SF min
0	Width		
	Single unit detached	200' min	150' min
	All other allowed uses	100' min	100' min
Cov	erage		
G	Lot coverage		
	Residential use	25% max	25% max
	All other principal uses	By use	permit
O	Canopy coverage		
	Residential use	35% min	35% min
	All other uses	40% min	40% min

## Div. 4.4. Commercial Mixed Use (CX-)



(Ord. of 4-17-2018(3), § 4-5; Ord. No. 2019-01-04, § I, 1-15-2019)

	7,500	SF
		min
Ê.	7,500	SF
		min

# Step 5: Grading Limits

- Grading restrictions are intended to protect trees and vegetation on sites, and to protect the character of the neighborhood.
- Grading Requirements are located in Article 9.4.2 Environmental Protection of the Development Code.
  - In the side building setbacks:
    - In all RE- districts, grading may encroach up to 10 feet into the required side building setbacks.
    - In all RD- and RU- districts, grading may encroach into the required side building setbacks.
  - In the rear building setbacks:
    - In all RE- districts, no grading is allowed within 20 feet of the rear lot line. • In the RD-27, RD-18, and RD-15 districts, no grading is allowed within 15 feet of the
    - rear lot line.
    - In the RD-12, RD-9, RD-7.5, and RU- districts, no grading is allowed within 10 feet of the rear lot line.

## Step 6 – Locate All Other Items

- Utility & Access Easements
- State Waters
  - Questionable areas must be determined by James Sanders (Chief Environmental Compliance Officer)
- Show the Stream Buffers
  - Undisturbed natural vegetative buffer for 50' as measured from point of wrested vegetation City of Sandy Springs has an additional Impervious Setback of 25'
- Locate all retaining walls on the plans and indicate the top of wall and bottom of wall elevations (Max height = 6 feet for residential and 8 feet for commercial)
- Locate all impervious items (Accessory Structures, Driveways, Sidewalks, Steps, Decks, retaining walls, etc.) on the plans

Sample Site Plan Drawings



OWNER:

Robert and Amanda Cadet 2 Battalion Boulevard Ashley Banks, South Carolina 29401

24-HOUR CONTACT: JOE WRIGHT 770-555-0707

## PROJECT DESCRIPTION:

Project will consist of construction of a new 5,200 square foot residence, pool and associated driveways, decks and sidewalks.

SITE DATA: PARCEL AREA = 0.34 ACRE (14,818 SF) DISTURBED AREA = 0.28 ACRE (12,342 SF)

ZONING: RD-12 SETBACKS PRIMARY STREET: 35' MIN SIDE STREET: 20' MIN. SIDE: COMMON LOT LINE: 7' MIN REAR: COMMON LOT LINE: 25' MIN. MAX. HEIGHT: 3 STORIES / 40' MAX LOT COVERAGE: 38% MAX CANOPY COVERAGE: 35% MIN.

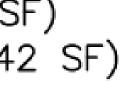
EXISTING IMPERVIOUS = 3196 SF (21.56%) PROPOSED IMPERVIOUS = 5,420 SF LOT COVERAGE = 36.6%

CONSTRUCTION HOURS: 7:30 AM - 7:30 PM MON-FRI 8:00 AM - 5:00 PM SAT

## SINGLE FAMILY RESIDENTIAL DEVELOPMENT PLANS FOR BULLDOG BUILDERS, LLC 1988 LETELLIER WAY SANDY SPRINGS, GA

SHEET INDEX

C-O	COVER
C-1	EXISTING CONDITIONS PLAN
C-2	BUILDING LOCATION PLAN
C-3	GRADING & DRAINAGE PLAN
C-3.1	STORM WATER MANAGEMENT PLAN
C-4	EROSION AND SEDIMETATION CONTROL
C-5	CONSTRUCTION DETAILS
C-6	ES&PC DETAILS
C-6.1	ES&PC DETAILS
C-7	FENCE DETAILS
C-8	TREE PRESERVATION & PROTECTION
C-9	TREE PRESERVATION & PROTECTION





SCALE: AS SHOWN	SHEET TITLE:
DATE JULY 27, 2021	COVER SHEET
DRAWN CHECKE JGA JGA	D C-0

NOTES:

- 1. BOUNDARY INFORMATION TAKEN FROM FINAL PLAT OF STANLEY CUP SUBDIVISION DATED AUGUST 1, 1999 RECORDED AT FULTON COUNTY CLERK OF COURT PLAT BOOK 100 PAGE 320
- 2. TOPOGRAPHIC INFORMATION TAKEN FROM FIELD SURVEY BY EXCELLENT SURVEYING, LLC DATED DECEMBER 31, 2020.
- 3. SITE IS NOT ON THE CITY OF SANDY SPRINGS SIDEWALK NETWORK
- 4. NO ZONING BUFFERS, ACCESS EASEMENTS, SEWER EASEMENTS OR STORM EASEMENTS EXIST ON THE PROPERTY.
- 5. NO STATE WATERS EXIST ON THIS PROPERTY. THIS PROPERTY IS NOT LOCATED WITHIN 200 OF STATE WATERS.
- 6. THIS SITE [IS/IS NOT] LOCATED WITHIN A ZONE A, AE, OR SHADED ZONE X AS DEFINED BY F.I.R.M COMMUNITY PANEL NUMBER(S) 13121 C0156G FOR FULTON COUNTY, GEORGIA.
- 7. THIS PROPERTY IN NOT LOCATED WITHIN A FUTURE FLOODPLAIN AREA AS DETERMINED BY THE CITY OF SANDY SPRINGS.
- 8. THIS SITE IS NOT LOCATED ON THE SANDY SPRINGS SIDEWALK MASTER PLAN
- 9. NO DECKS, PATIOS, OR PERMANENT STRUCTURES PERMITTED IN BUFFERS OR EASEMENTS.
- 10. CONTACT THE DEPARTMENT OF COMMUNITY DEVELOPMENT THROUGH THE PORTAL TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY LAND DISTURBANCE. (THE CUT-OFF TIME FOR NEXT DAY INSPECTION IS 2PM.)
- 11. AN AS-BUILT DRAWING, CONTAINING A BOUNDARY SURVEY, SITE IMPROVEMENTS, TOP AND BOTTOM OF WALLS, FINISHED FLOOR ELEVATIONS OF BUILDINGS, DECKS, AND POOL, UTILITIES, EASEMENTS, PERTINENT SITE DEVELOPMENT DATA, AND ANY OTHER REQUIREMENTS OF THE COMMUNITY DEVELOPMENT DIRECTOR, SHALL BE SUBMITTED TO AND APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR A CERTIFICATE OF COMPLETION.
- 12. BE AWARE THAT A FOUNDATION FORM SURVEY IS REQUIRED FOR ALL NEW CONSTRUCTION/NEW ADDITIONS WHERE THE BUILDING IS LOCATED WITHIN 5 FEET OF ANY SET-BACK, EASEMENT, OR BUFFER. THE FOUNDATION FORM SURVEY SHALL BE SIGNED BY A SURVEYOR LICENSED IN THE STATE OF GEORGIA.
- 13. ALL STORMWATER RUNOFF REDUCTION, WATER QUALITY AND GREEN INFRASTRUCTURE BMPS WILL REQUIRE INSPECTION AND CERTIFICATION BY THE DESIGN PROFESSIONAL PRIOR TO FINAL SITE INSPECTION APPROVAL. AS-BUILT DRAWINGS MUST INCLUDE THIS CERTIFICATION, BMP DIMENSIONS (LENGTH, WIDTH AND DEPTH) AND AS-BUILT COORDINATES (GEORGIA STATE PLANE - WEST ZONE).

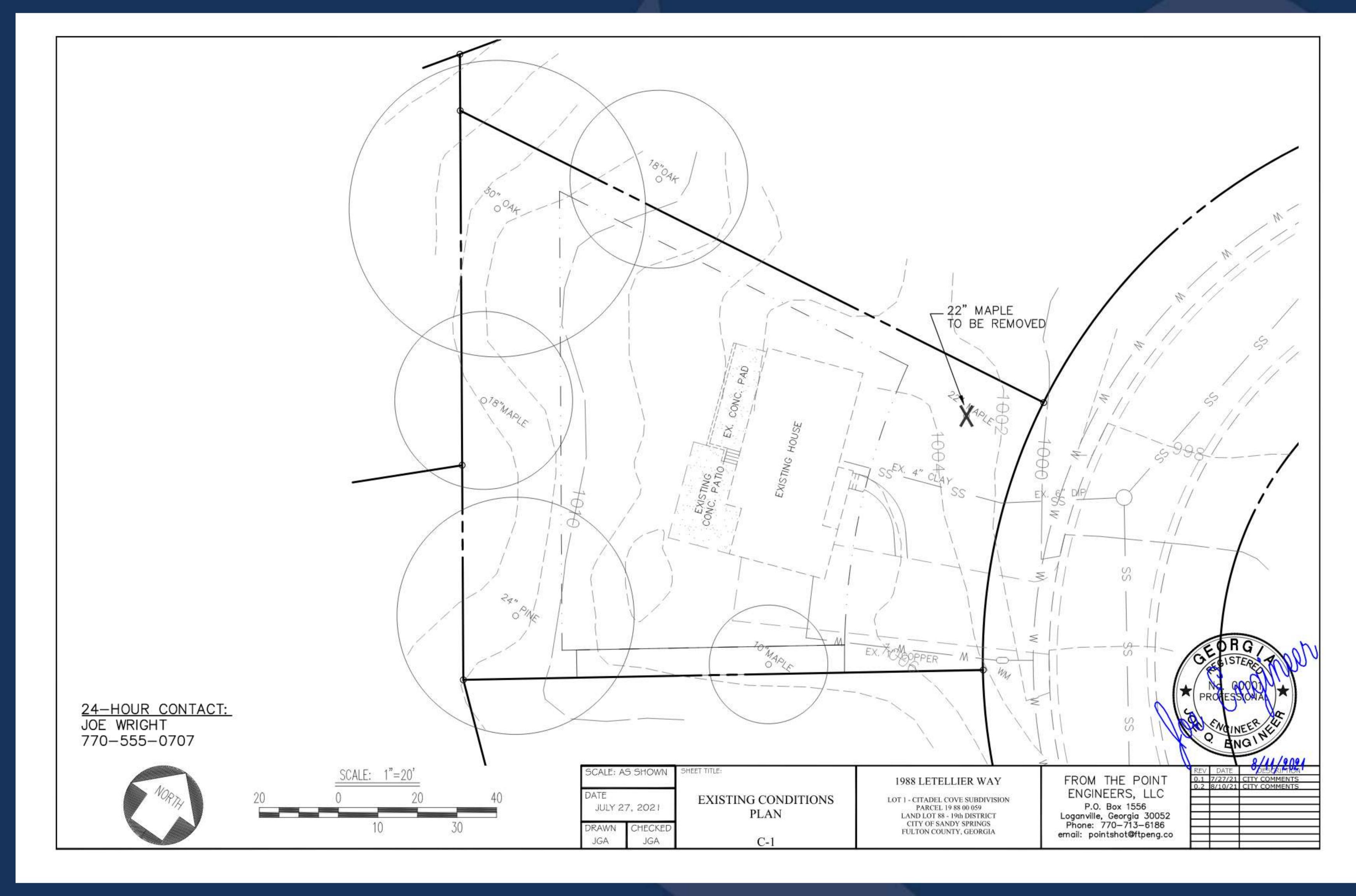
1988 LETELLIER WAY LOT 1 - CITADEL COVE SUBDIVISION PARCEL 19 88 00 059 LAND LOT 88 - 19th DISTRICT CITY OF SANDY SPRINGS FULTON COUNTY, GEORGIA FULTON COUNTY, GEORGIA			DESCRIPTIO CITY COMMENTS CITY COMMENTS
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PLAN DETAILS

OL PLAN

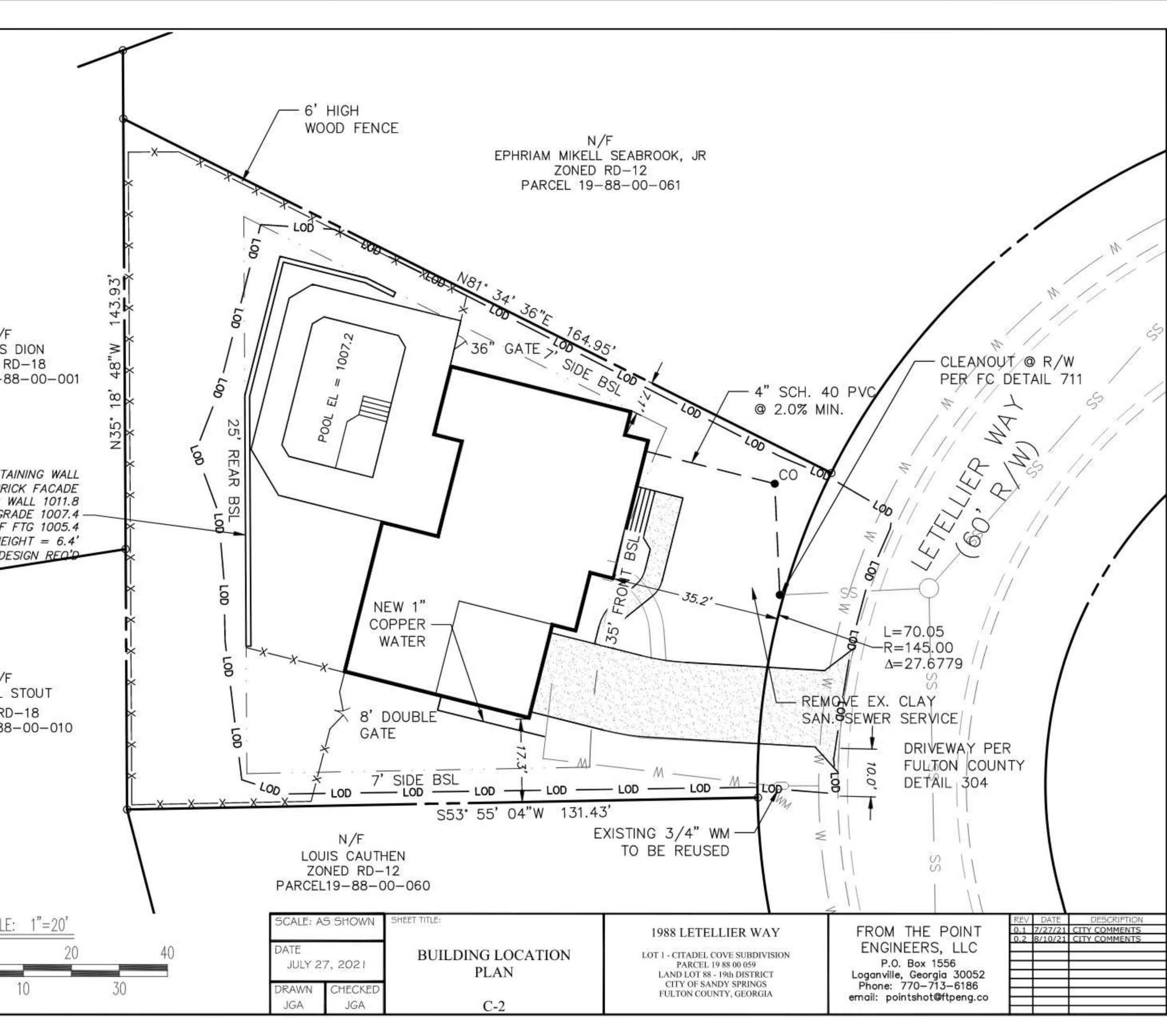






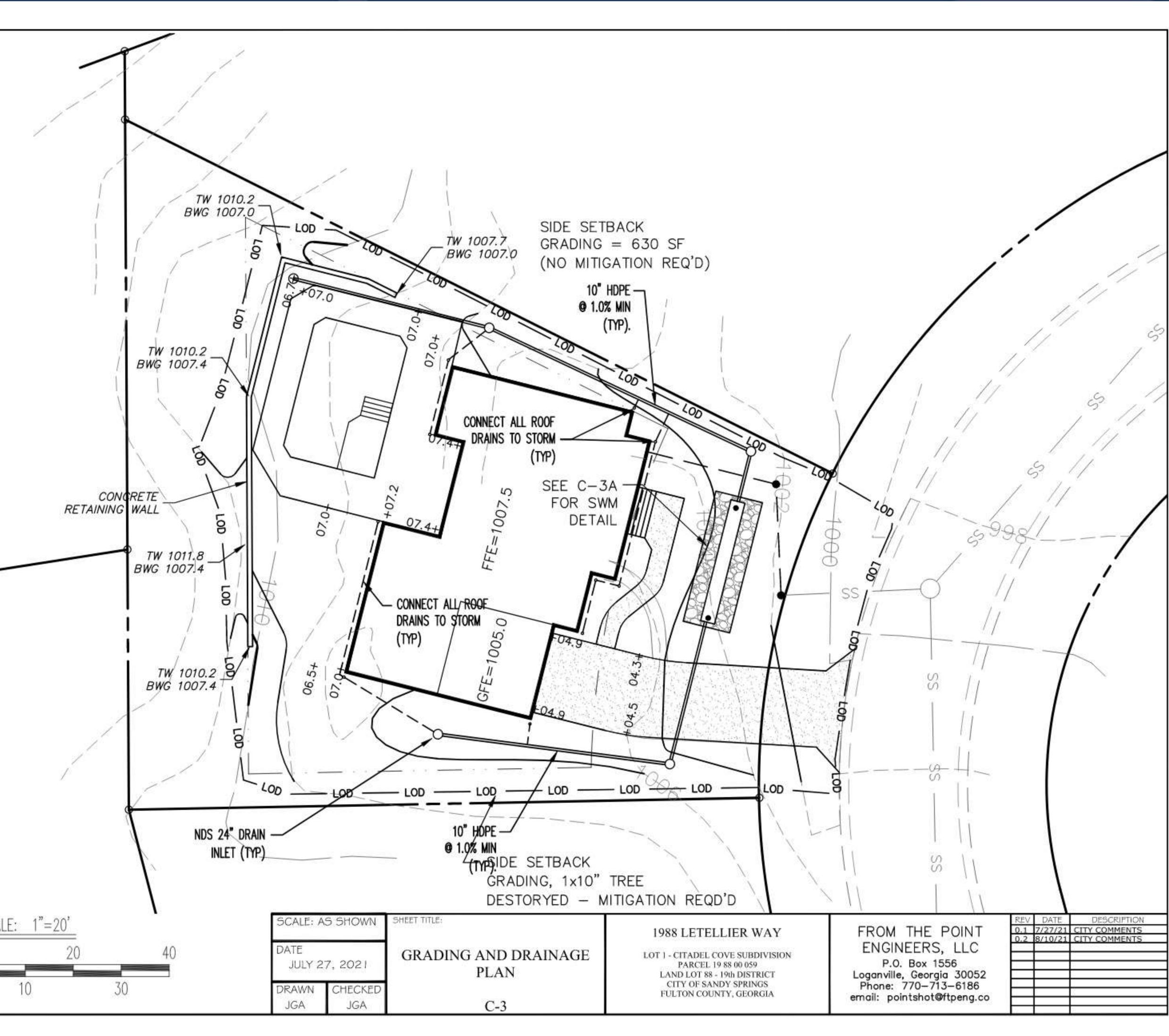


2,693 SFT 771 SFT 206 SFT 1,634 SFT 116 SFT 5,420 SFT
GE = 38%
HT = 32.67'
N/F THOMAS ZONED R PARCEL 19–8
CONCRETE RETA W/ BRI TOP V BOTTOM @ GR BOTTOM OF HEI ENGINEER DE
N/F RUSSELL ZONED RD PARCEL 19–88
<u>SCALE</u> 20 0





IMPERVIOUS AREA HOUSE DRIVEWAY SIDEWALKS POOL & POOL DECK WALLS TOTAL	2,693 SFT 771 SFT 206 SFT 1,634 SFT 116 SFT 5,420 SFT	
LOT COVERAGE = 36.6% ALLOWABLE LOT COVERA		
PROPOSED BUILDING HEI	GHT = 32.67'	
24-HOUR CONTACT JOE WRIGHT	<u>.</u>	
770-555-0707		
GEGISTERE	2	
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IMPERVIOUS AREA HOUSE	2,693 SFT	<u>WA</u>
DRIVEWAY SIDEWALKS POOL & POOL DECK WALLS TOTAL	771 SFT 206 SFT 1,634 SFT <u>116 SFT</u> 5,420 SFT	IMPE RRv <u>RRv</u>
LOT COVERAGE = 36.6 ALLOWABLE LOT COVER	이 바이지 않는 것이 같은 것이 같이 같은 것이 같이 같이 같은 것이 같은 것이 같이	INFII PIPE ROC ROC ROC NEW
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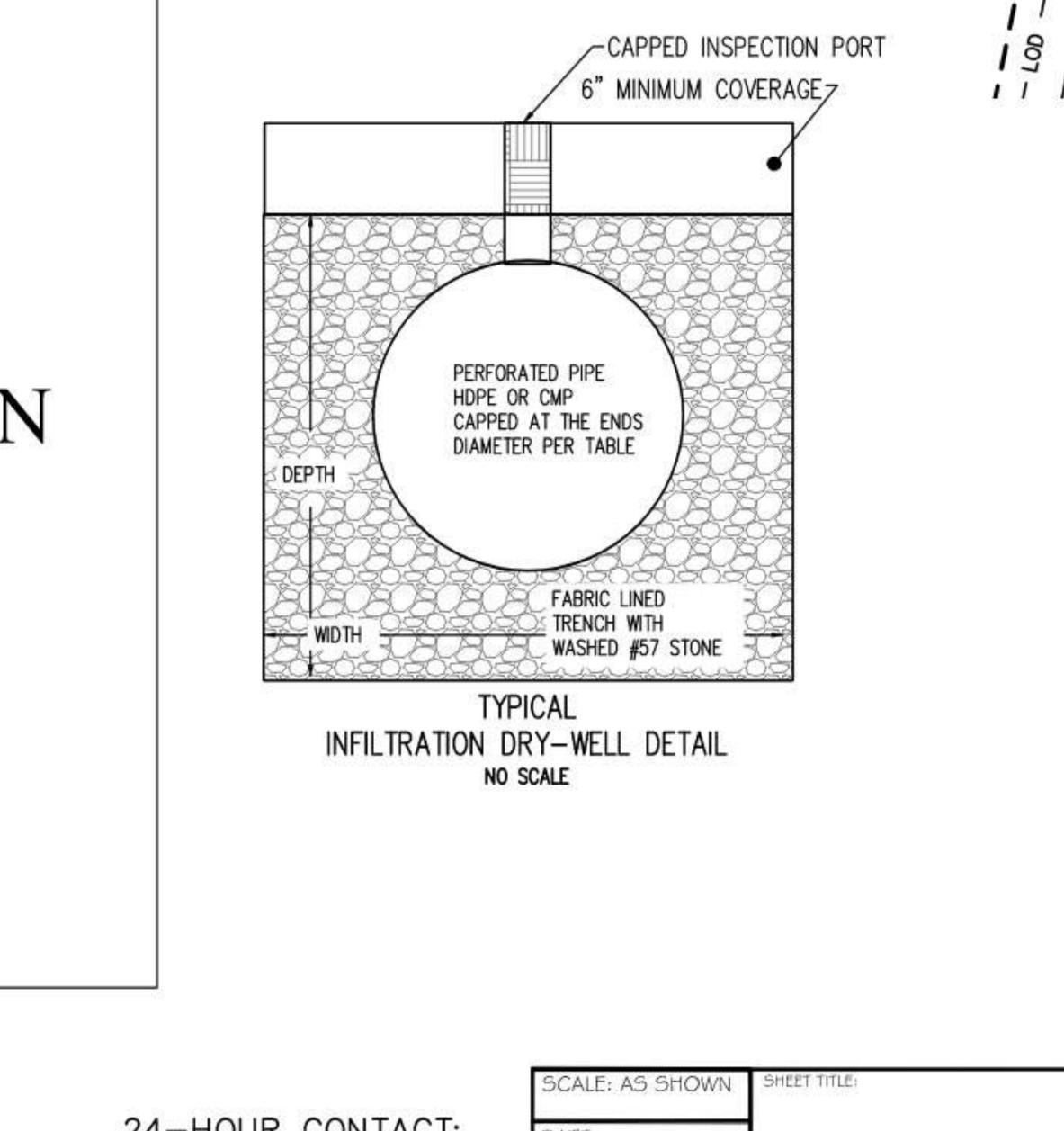
## SCANNED INFILTRATION TEST

## ATER QUALITY CALCULATIONS

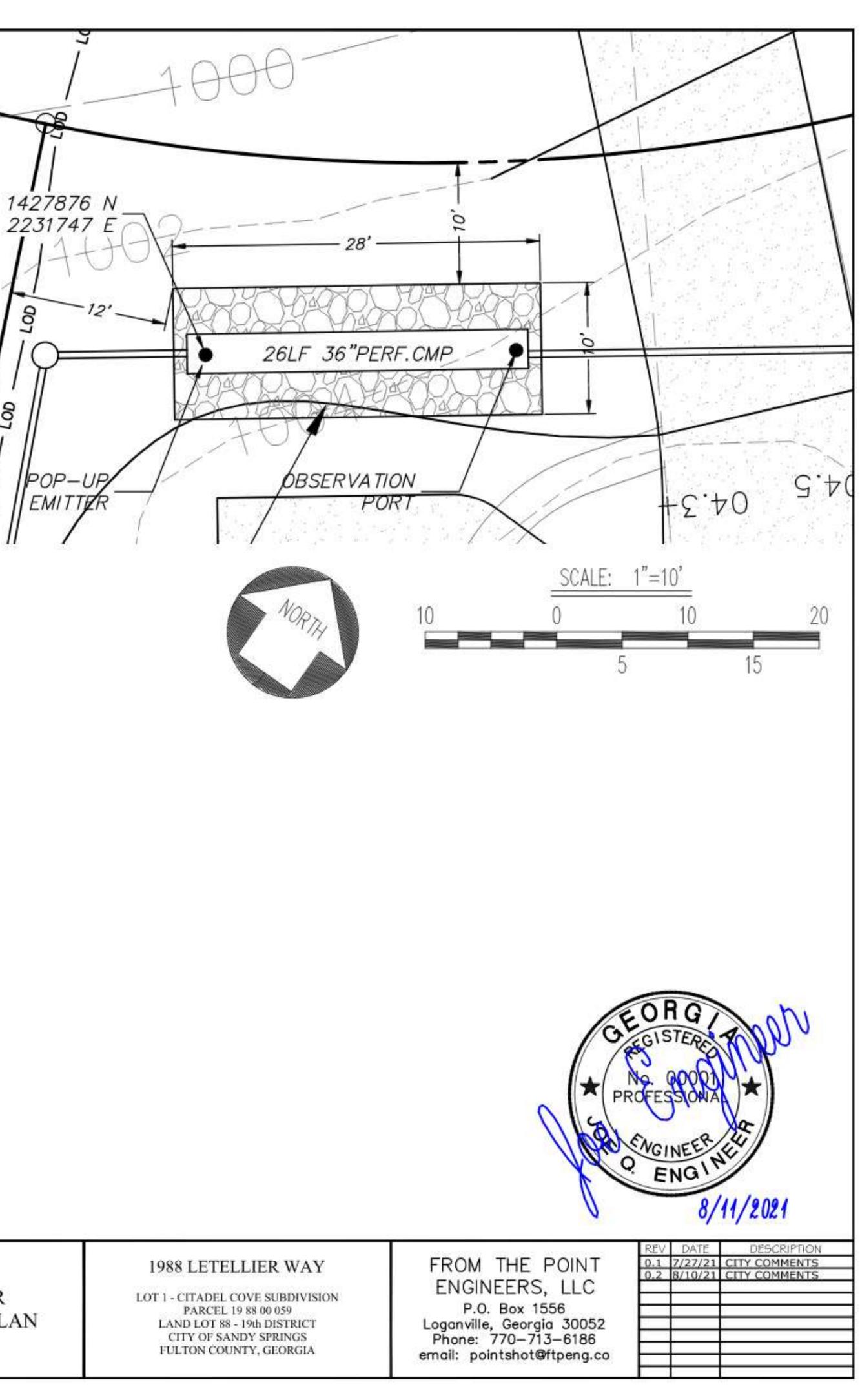
PERVIOUS AREA = 5,420 SF Rv REQUIRED = 1.2"v CALUCATIONS: 5,420 x 1.2/12 = 542 CF REQ'D

FILTRATION DRY-WELL VOLUME: PE VOLUME: 7.07 CFT/LF x 26 LF = 183.8 CFT DCK DEPTH = 5 FEET OCK VOLUME: (50-7.07) CFT/LF = 42.93 CFT/LF DCK VOLUME: 42.93 CFT/LF x 28 LF = 1202.0 CFT (GROSS) DCK VOIDS = 40%W ROCK VOLUME: 1202 CFT x 0.40 = 480.8 CFT

TAL AVAILABLE VOLUME: 183.8 + 480.8 = 664.6 CFT.



	SCALE: A	S SHOWN	SHEET TITLE:
24-HOUR CONTACT: JOE WRIGHT	DATE JULY 27, 2021		STORMWATER MANAGEMENT PLAN
770-555-0707	DRAWN JGA	CHECKED JGA	C-3.1

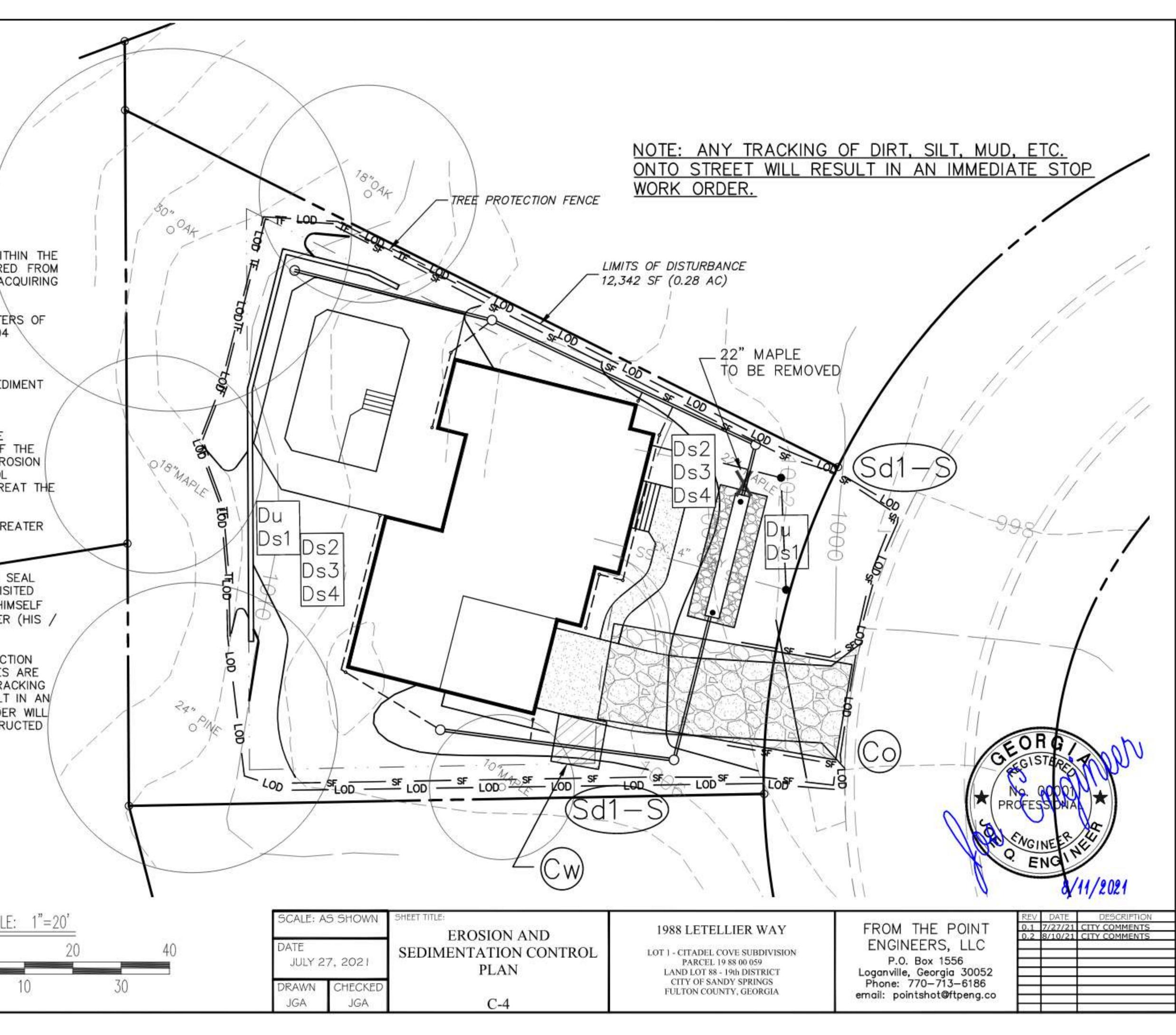




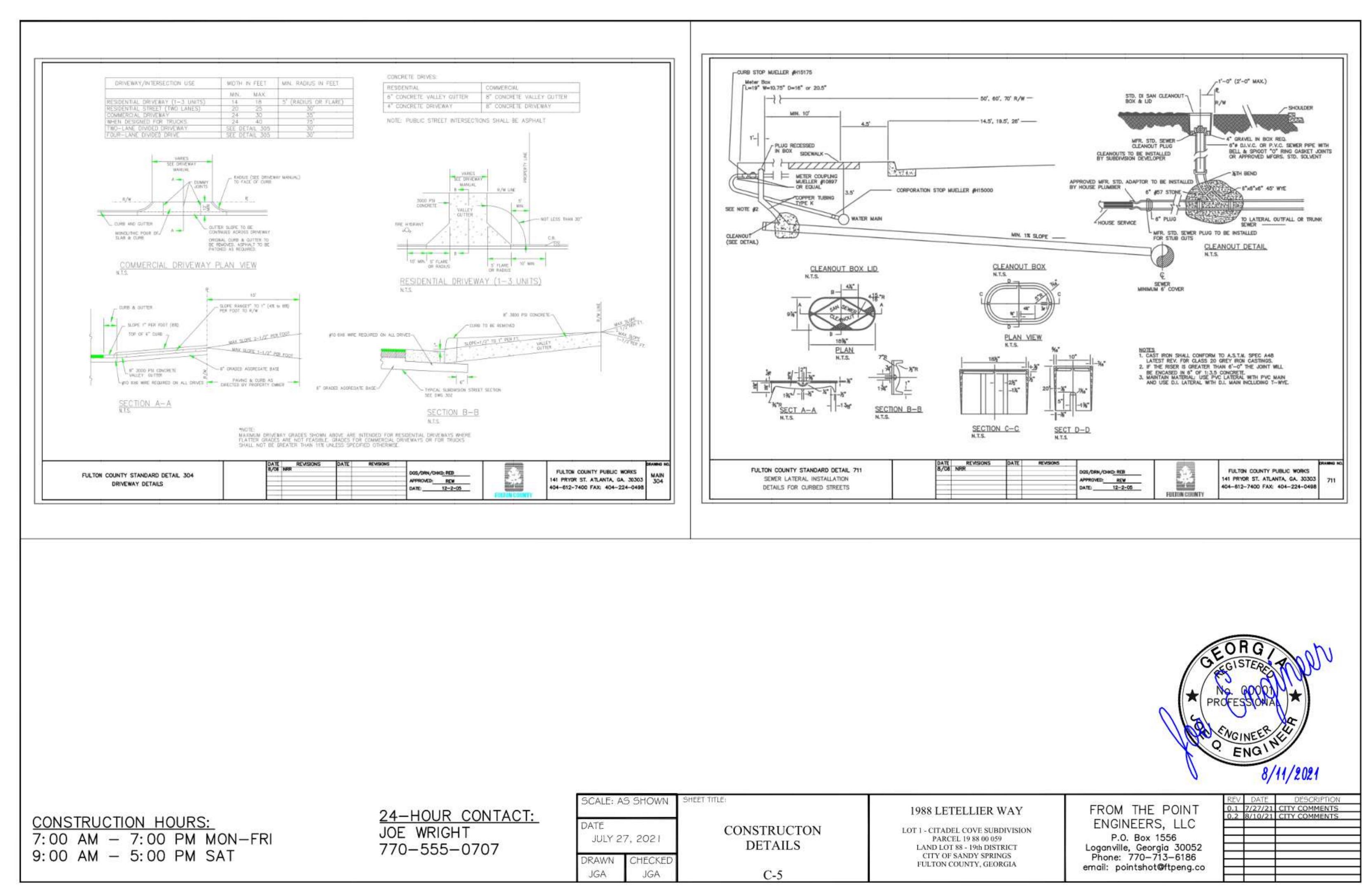
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IM	IPERVIOUS AREA
	IFERVIOUS AREAOUSE2,693 SFTRIVEWAY771 SFTDEWALKS206 SFTOOL & POOL DECK1,634 SFTALLS116 SFT
	DTAL 5,420 SFT
100.020	DT COVERAGE = 36.6% LOWABLE LOT COVERAGE = 38%
ER	OSION CONTROL NOTES:
1.	NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WIT 25 OR 50-FOOT UNDISTURBED BUFFERS AS MEASURE THE POINT OF WRESTED VEGETATION WITHOUT FIRST AC THE NECESSARY VARIANCES AND PERMITS.
1.	WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATE THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
2.	THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SED CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
3.	EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE ERO CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TRE SEDIMENT SOURCE.
4.	ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GRI THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
5.	THE DESIGN PROFESSIONAL WHOSE SIGNED AND DATED S APPEARS HEREON, AFFIRMS THAT THE SITE WAS VIS PRIOR TO THE PREPARATION OF THIS SITE PLAN BY (HI / HERSELF) OR (HIS / HER) AUTHORIZED AGENT UNDER HER) SUPERVISION.
6.	THE EXISTING DRIVEWAY MAY BE USED AS A CONSTRUCT EXIT PROVIDED THAT ALL CONSTRUCTION VEHICLES CONFINED TO EXISTING PAVED AREAS ON SITE. ANY TRAN OF DIRT, SILT, MUD, ETC. ONTO STREET WILL RESULT IMMEDIATE 'STOP WORK' ORDER. THE 'STOP WORK' ORDE NOT BE LIFTED UNTIL A CONSTRUCTION EXIT IS CONSTRU- IN ACCORDANCE WITH THE CURRENT DETAIL.
	<u>24–HOUR CONTACT:</u> JOE WRIGHT 770–555–0707
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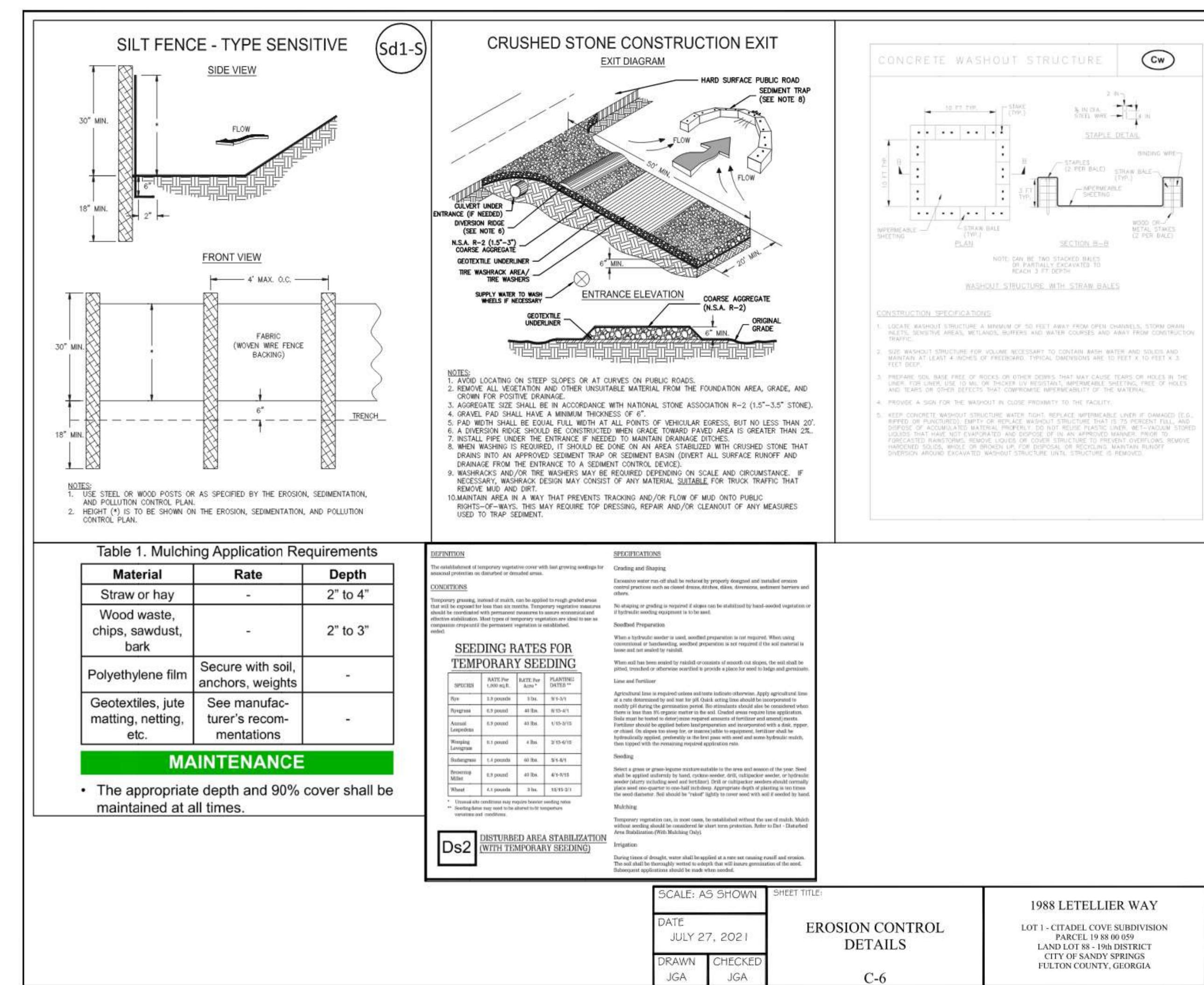




<u>24-HOUR CONTACT:</u> JOE WRIGHT 770-555-0707	SCALE: A	S SHOWN	SHEET TITLE:	
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## DEFINITION

Controlling surface and six movement of dust on construction sites, reads, and donalition altes.

## CONDITIONS

This practice is applicable to areas subject to surface and air movement of that where on and off-site damage may occur without treatment.

METHOD AND MATERIALS.

A TEMPORARY METHODS

Mulchen, See standard Det - Disturbed Area Stabilization (With Molding Only): Synthetic renins may be used material of asylhult to bind match material. Nefer to atomdard Th-Tackillers and Rinders. Busine such as Curasol or Terratack should be used according to sumplicitarie's recommutations.

Vogetative Cover. See standard De2 - Disturbed Area Biobilization (With Temporary Speding).

Spray-on Adhesiron. Those are used on mineral soils (not effective on muck soils). Keep traffic off those areas. Referto standard Th-Tackifiers and Binders.

Tillage. This practice is designed to roughos and bring clubs to the surface. It is an emergency measure which abould be used hotore wind erosion starts. Bogis pleating on windward side of site. Chisel-type please spaced about 15 inches apart, apring-touthed harrows, and similar plows are examples of equipment which may produce the desired effect.

irrigation. This is generally done as an emergency treatment. Site is aprinkled with water until the surface is wet. Repeat as needed.

Berriers. Solid based innows, encouriences, hurstap lences, crats wella, bales of hay and similar material can be used to control air currents and suil blowing. Earriers placed at right angles to prevailing currents at intervals of about 15. times their height are effective in controlling wind around.

Galcium Chiloride. Apply at rote that will keep surface maint. May need retreatment.

## B. PERMANENT METROOS

Permanent Vogstation, See standard Dol -Disturbed Area Schilization (With Permanent Vogstation), Existing trees and large shrubit may alterd valuable protection if left in places.

Topooling, Thusantails covering the surface with lass seasors coll material. See standard Yp - Topooling, Stene, Cover nations with creation stone or coardo grown. See standard Or-Countraction Road Stabilization.





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## DEFINITION

The planting of permissial vegetation such as trens, shrubs, vices, grasses, or legumes on exposed areas for final permanent stabilization. Permanent perennial vegetation shall be used to achieve final stabilization.

## CONDITIONS

Permanent perennial vegetation is used to provide a protective cover for exposed areas including ruts, Elis, dams, and other deputed areas.

## SPECIFICATIONS

Grading and Sheping

Grading and shaping may not be required where bydraulic seeding and fertilizing equipment is to be used. Vertical banks shall be sloped to enable piant establishment.

When nonventional aveding and fertilizing are to be done, guide and shape where leasible and practical, so that equipment can be used safety and officiently during seedbed perparation, seeding, mulching and maintenance of the vegetation

Concentrations of water that will dauge expansive soil erosian shall be diverted. to a sale outlet. Diversions and other treatment practices shall conform with the appropriate standards and specifications.

Lime and Fertilizer Rates and Analysis

Agricultural lime is required at the rate of one to two tons per acre unless soil tests indicate otherwise. Graded areas require line application. If lime is applied withis ais months at planting permanent perennial vogetation, additional time is not required. Agricultural lime shall be within the apecifications of the Georgia Department of Agriculture.

Line spread by conventional equipment shall be 'ground linnetone.' Ground linestone is saloitic or dolonitic linestone ground so that 90 percent of the material will pass through a 50-mesh sieve, not less than 50 percent will pass. Seedbed preparation may not be required where hydraulic seedla through a 59-mesh sieve and not less than 35 percent will pass through a Sertilizing equipment is to be used. When conventional seeding ist tto-mesh sinm.

Fast-acting line spread by hydroulic seeding equipment should be 'tinely ground limestone" spanning from the 180 micron also to the 5 micron size. Plastly ground lineatone is calcitic or dolomitic lineatone ground so that 95 percent of the meteriel will pass through a 100-mesh sieve.

ISTURBED AREA STABILIZATION



## DEFINITION

A permanent vegetation using sods on highly readible or critically creded lands. ONDITIONS

This application is appropriate for areas which require immediate vegetative covers, drop inlets, grass sociles, and waterways with informitient flow -

## CONSTRUCTION SPECIFICATIONS INSTALLATION

## Soil Preparation

- Bring soil surface to final grade. Gour surface of treah, woody debris, stones and clode larger than 1°. Apply soit to soil surfaces only and not fromes

surfaces, or gravel type soils. Topsell property applied will help guarantee stand. Don't use topsell recently treated with herbicides or soil sterilants.

dix fortilizer into soil surface. Fertilize based on soil tests or Table 6-6.1. For tall planting of warm season species, half the lertilizer should be applied at planting and the other hall in the spring.

lable 6-6.1. Fertilizer Requirements for Soil Surface Application

Tertilizer Type (Ba./acro)	Portiliner Bato (Ros./acroj	Tertilizer Bate	<b>Breaks</b>	
10-10-10	1000	.025	Fall	

Agricultural lime should be applied based on soil tests or at a rate of 4 to 2 tone per acre.

talletice

- Loy sod with tight joints and in straight lines. Don't overlap joints. Stagger jeinin and do not stretch sod.

- On slopes steeper than 3:1, and should be anchored with wooden or biodegradable pine or other approved methods.
- Installed and should be rolled or isoped to provide good opstact between and
- and soil. - Irrigate and and soil to a depth of C immediately after installation.
- Sod should not be cut or spread in extremely wet or dry weather. Irrigation should be used to supplement rainfall for a minimum of 2-3 weeks.

DISTURBED AREA STABILIZATION

Ds4 WITH SODDING) It is desirable to use dolomitic limestone in the Sand Hills, Se Plain and Atlantic Coast Flatwoods MLRAs.

Agricultural lime is generally not required where only trees are pla Initial Iertilization, altrogen, topdressing, and maintenance Iertifiz requirements for such species or combination of species are listed in #-fi.1 below.

## TABLE 6-5.1. FERTILIZER REQUIREMEN

		designed and the second se	
TYPE OF SPECIES	YEAR	ANALYSIS OR EXUIVALENT N-P-X	BATE
t. Cool reason granses	Finit Second Maintenance	N-P-X 6-12-12 10-10-10	1500 Ibs./ec. 1500 Ibs./ec. 409 Ibs./ec.
2. Cool session granece md legumes	Pist Second Maintenance	6-13-12 9-10-10 0-10-10	1500 lbs./ac. 1500 lbs./ac. 810 lbs./ac.
3. Geouad covers	First Second Maintenance	10-10-10 10-10-10 10-10-10	4300 lbs./ac. / 4300 lbs./ac. / 4300 lbs./ac. /
4. Pine soodings	Fist	30-10-5	one 21-gram peo per sooding place in the closing he
5. Shrub Lospedeza	Tast Menterance	10-10-10 10-10-10	700 Bis /ac. 700 Bis /ac. /4
<ol> <li>Temporary cover crops southed alone</li> </ol>	Plat	40-10-10	500 Rs./at.
7. Cool season gransco	First Second Maintenance	8-12-12 6-12-12 10-10-10	1500 lbs./ac. 800 lbs./ac. 400 lbs./ac.
8: Warm season grasses and legumen		0-12-12 0-10-10	1500 lbs./ac. 1100 lbs./ac. 400 lbs./ac.
3/ Apply in 3 apl	ipplications w	tien high rates a	en wind.

Apply to grain species inty.
 Apply when plants grow to a height of 2 to 4 inches.

Seedbed Preparation

seected preparatan will be done as follows:

## Broadcast plantings

3. Tillage at a minimum, shall adequately income the soil to a dept

inches, alleviate compaction, incorporate lime and fertilizer, and

the soil, allow for the proper placement of ased, uprigs, or plants the enchoring of strew or hay mulch if a disk is to be used.

2. Tillage may be done with any suitable equipment. 3. Tillage should be done on the cantour where feasible.

## MATERIALS

- Soil selected should be certified. Bod grown in the general ar ia desirable.

- Soil should be machine out and contain 3/4" ±1/4" of soil, not or thatch.

 Soil should be cut to the desired size within ±5%. Turn or une be rejected.

- Sod abouid be out and installed within 56 hours of digging. - Avoid planting when aubject to frost beave or het weather if i anidabin.

- The soil type should be shown on the plans or installed accord 6-6.2. See Figure 6-4.1 for your Resource Area.

Grane	Variation	Tenners A
Bermutingrass	Cammun Tifevay Tifgreen Tiflown	M-L, P,C P,C P,C P,C
Bahiagrass	Pensacola	¥.C
Contipuée		P,C
St. Augustion	Common filterblue Rateigh	C
Zeynia	Emeraid Myer	9.0
Tell Pessas	Emtusky	M-LP

## MAINTENANCE

+ Re-and areas where an adequate stand of and is not obtained · New and should be moved sparingly. Grass height should no

than 2'-3' or as specified. · Apply one ton of agricultural lime as indicated by soil tast or a

· Pertilize grasses in accordance with sol tests or Table 6-6.1.

Table 6-6.3. Partilizze Bogairements he Sod				
Types of Species	Planting Year	(N-P-K)	(line,/ne	
Coot	First	6-12-12	1500	
Seaton	Second	6-12-12	1000	
Graness	Maintenanco	10-10-10	400	
Wares	First	F-13-13	1500	
Season	Second	F-13-12		

Grassen Maintenance (0-10-10 400

Southern Coastal	4. On slopes too steep for the safe operation of tillings equipment, the soil surface shalt be pitted to treached across the slope with appropriate band tools to provide two places 6 to 8 inches apert in which seed may lodge and contexts. Medically, and contexts appropriate band tools.	Mulching Mulch is required for all permanent vegetation applications. Mulch applied to	mixture setisfacts	ol aspitalt emulaion and ary for spreying. The m 38-th emulaified aspita	to telenos llade orutal	to another 00
tillær sted in Table	germinate. Hydraulic seeding may also be used. Individual Plante	assided aroas shall active 75% soil cover. Select the mulching material from the following and apply as indicated:	multh. Care shall be take	m at all times to protec	natale waters, the pub	io, educant
NTS TOP DRESSING PATE R-100 Baller, 1/2 D Baller, 1/2 S S S S S S S S S S S S S S S S S S S	<ul> <li>9. Where individual plants are to be set, the soil shall be prepared by exavating holes, opening turrows, or dibble planting.</li> <li>2. For narvery stack plants, holes shall be large enough to accommodate roots without crowding.</li> <li>8. Where pine coedings are to be planted, subsoil under the row 36 inclus deep on the contour lear to als months prior to planting. Subsoiling should be done when the soil is dry, preferably in August or Beptember.</li> <li>Planting</li> <li>Mix the seed (inconsilated) if needed), fertilizer, and wood cellulose or wood pulp ther makes with water and apply in a shurry uniformly over the area to be reacted by the months and be been be reacted.</li> </ul>	<ol> <li>Dry straw or dry hay of good quality and tree of wood seeds can be used. Dry straw shall be applied at the rate of 2 tone per acre. Dry hay shall be applied at a rate of 2 t/2 tone per acre.</li> <li>Wood collabor molect or wood paip fiber shall be used with hydraulic seeding. It shall be applied at the rate of 500 pounds per ocre. Drystraw or dry hay shall be applied for the rate indicated above) after hydraulic seeding.</li> <li>One thousand pounds of wood cellulose or wood pulp fiber, which includes a tackilier, shall be used with hydraulic seeding on aloges 5/4.1 or steeper.</li> <li>Serices lespedents hay containing mature seed shall be opplied at a rate of three tons per acre.</li> <li>Pine straw or pine bark shall be applied at a thickness of 5 inches for bedding purposes. Other suitable materials in sufficient quantity may be used where treatmentals or other ground coven are planted. This is not appropriate for seeded areas.</li> <li>When using temporary erosion centrol blankets or block sod, mulch is not required.</li> <li>Intuminous treated roving may to applied on planted areas on slopes, in difference or dry waterways to prevent oreases. Bluminous treated roving shall be applied within 24 hours after an area has been planted. Application rates and materials must next Georgia Depertment of Transportation specifications.</li> </ol>	property, prevenents, curbs, sidewalks, and all other structures from aphal constants. 1. Hay and stream makes shall be pressed into the soil immediately after the makes is operat. A special "pecker disk' is disk harrow with the disks set straight may be used. The disks may be anorth, or aerrested and should be 20 inches or more in diameter and 8 to 12 inches opert. The edges of the disks set shall be dial enough to prese the makes in the proved without curting it, barrow with the increase of the disk set operation with or increase and 8 to 12 inches opert. The edges of the disks set of a more in diameter and 8 to 12 inches opert. The edges of the disk set of a more in diameter and 8 to 12 inches opert. The edges of the disk set of a more in diameter and 8 to 12 inches opert. The edges of the disk set of a special enough to prese the makes in the proved without curting it, barrow the disk set of the dis			
30-100 Ba/ac. 2/ 30 Ba/ac. 30 Ba/ac. 6/	Seeding will be done on a leasily prepared and firmed acedbed. For broadcast planting, use a cultipacker eceder, drill, rotary seeder, other mechanical seeder, or hand seeding to distribute the weed uniformity over the area to be treated. Cover the seed lightly with 1/8 to 1/4 inch of soil for small seed and 1/2 to 1 inch for large seed when using a mitipacker or other suitable equipment.	Wood collubose and wood pulp fibers shall not contain germination or growth inhibiting factors. They shall be evenly dispersed when agitated in water. The fibers shall contain a dye to allow visual metering and aid in uniform application during seeding. Applying Mulch				
	No-Tili Seeding	Straw or hay mulch will be spread uniformly within 24 hours after seeding		BATE Por	BATE Per	PLANTING
	No-till seeding is permissible into annual sever crops when planting is done	and/or planting. The mulch may be spread by blover-type spreading equipment, other spreading equipment or by hand. Mulch shall be applied to cover 75% of	SPECIES	1,060 eq.ft.	Acre *	DATES **
eding and	following maturity of the ower crop or if the temporary cover stand is aparese enough to allow adequate growth of the permanent (perencial) species. No-till	the and surface.	BAHIA BERMUDA	1.4 POUNDS 0.2 POUND	60 LBS.	1/5-12/31
g isto be used.	seeding shall be done with appropriate no-till seeding equipment. The seed must be uniformly distributed and planted at the proper depth.	Wood cellulose or wood fiber multiplied while the opplied uniformly with hydroulic sources and an end of the source of the sour	in the second second	BLOCK SOD	BLOCK SOD	
	Individual Planta	Anchoring Mulch	CENTIFEDE	ONLY	ONLY	4/1-7/1
	Shruba, vinces and oprigs may be planted with appropriate planters or hand	Aucher straw or bay mutch immediately after application by one of the following	LESPEDEZA. WEEPENG	1.7 POUNDS	25 LES.	1/3-12/31
iepth of # to € om#eth and firm	tools. Pine trees shall be planted manually in the autooli furrow, Each plant	methods: 4. Emulatiled aspiralt can be (a) apwyed uniformly onto the mulch as it is	LOVE CRASS	0.1 POUND	4 LB8.	2/1-6/10
nin, and allow for	aball be set in a manner that will avoid crowding the roots. Nursery stock plants shall be planted at the same depth or slightly dreper then they grew at the nursery. The tips of vines and sprigs must be at or slightly above the ground	ejected from the blower machine of (b) sprayed on the match immediately following mulch application when streaw or hay is spread by mothods other than	SWITCH GRASS	6.9 POUND	40 1.88.	3/15-4/1
é area of the project	hole,			and to be altered to bit ter		
nat including shoots r uneven pads should i ti irrigation is not						
nst including shoots r uneven pads should i ti irrigation is not						
nst including shoots r uneven pads should i ti irrigation is not						
not including shoots r uneven pads should i ti irrigation is not morting to Table						
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net including shoots r uneven pads should if irrigation is not corting to Table Growing Sesson Warm Weather Warm Weather Warm Weather Warm Weather Warm Weather Warm Weather Cool Weather and anot be cut less to r every 4-6 years. 4.3. Nitroges Top Dressing Bate (Ba Jacre) 50-100 30						
not including shoots r uneven pads should tf irrigation is not cording to Table Growing Season Warm Weather Warm Weather Warm Weather Warm Weather Warm Weather Warm Weather Cool Weather cod. 6 not be cut less or every 4-6 years. 6.1.						

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## 1988 LETELLIER WAY

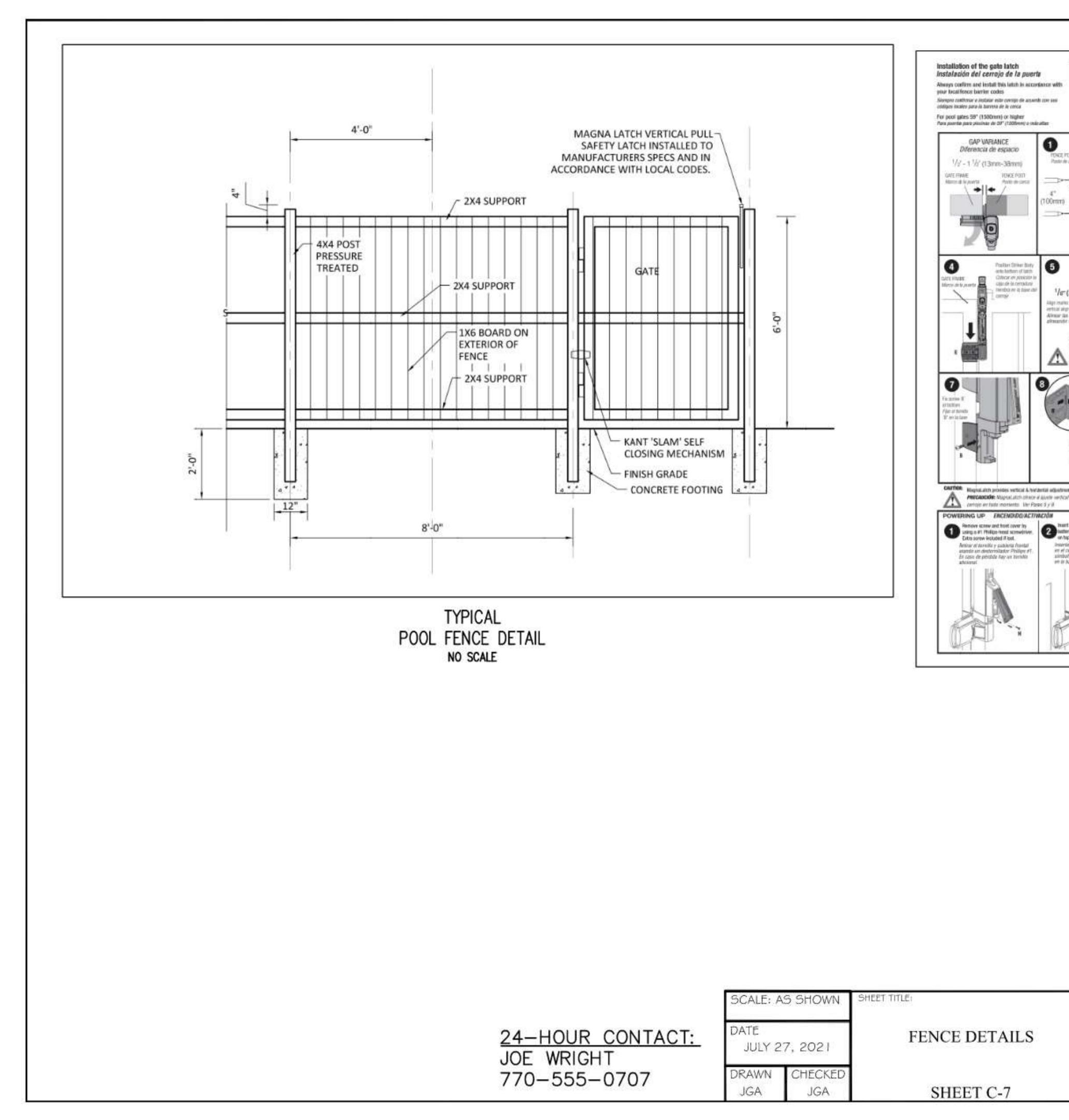
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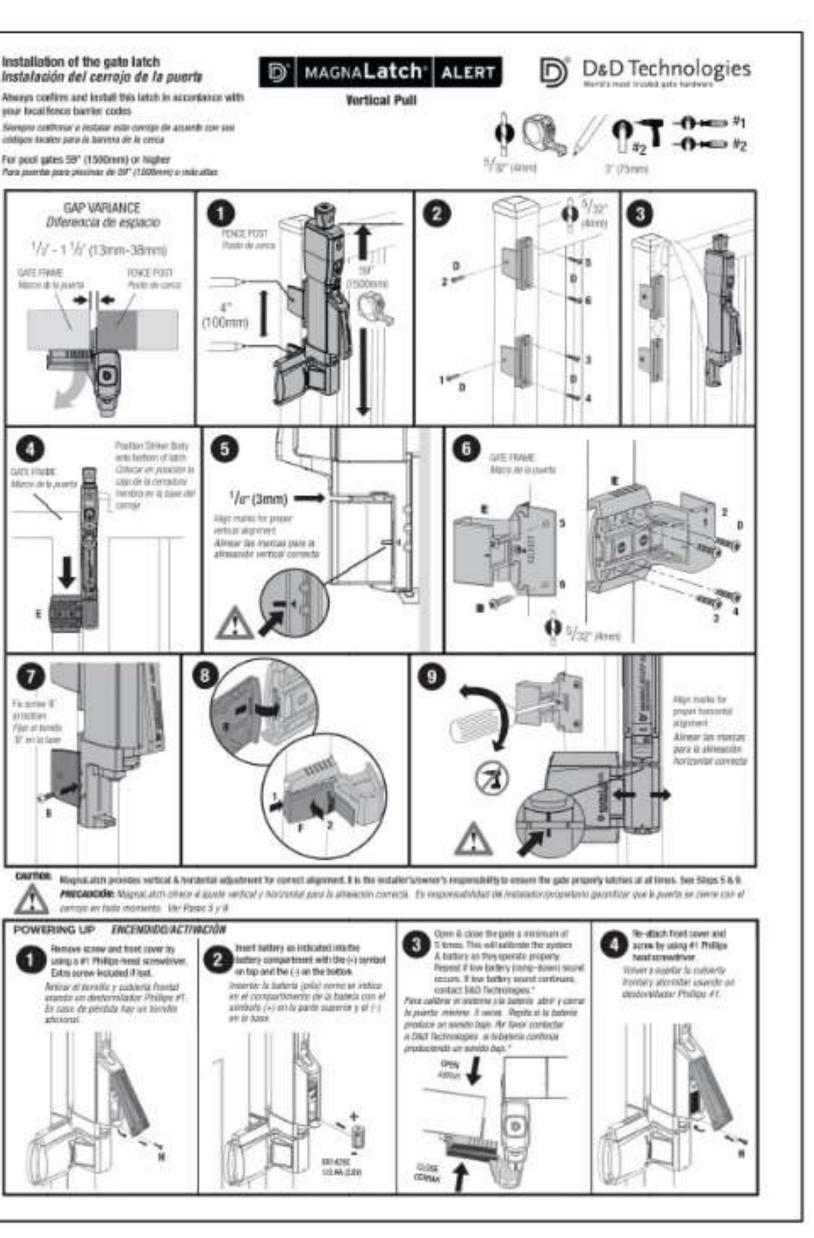
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<u>24-HOUR CONTACT:</u> JOE WRIGHT	DATE JULY 2	7, 2021	FENCE DETAILS
770-555-0707	DRAWN JGA	CHECKED JGA	SHEET C-7





## 1988 LETELLIER WAY

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## EXISTING TREE INVENTORY

TREE IMPACT 30" OAK 14.2% 18" MAPLE 16.9% 24" PIND 24.8% 22" MPALE 100%

TOTAL EXISTING CANOPY = 4,000SF

CANOPY REQUIREMENT

SITE AREA = 14,818 SF CANOPY COVERAGE = 35%14,818 x 0.35 = 5,183 SF REQ'D CANOPY PER CODE

EXISTING CANOPY = 4,000SF

PROTECTED TREES: 30" OAK 18' MAPLE 24" PINE

 $3 \times 1,000 = 3,000$  SFT EXIST. CANOPY TO REMAIN.

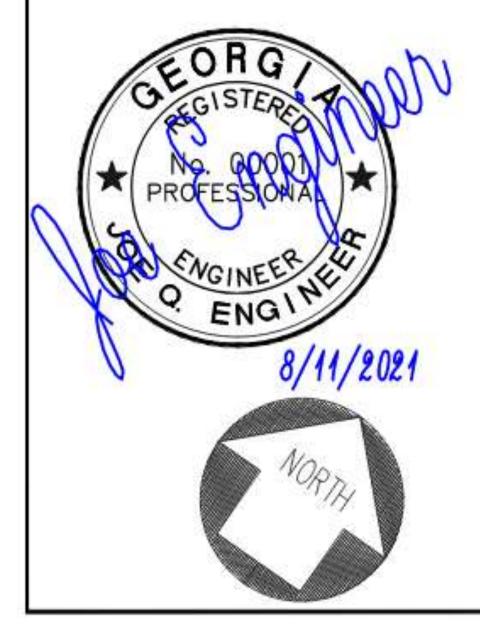
LANDMARK REPLACEMENT: 22" MAPLE TO BE REMOVED

 $1 \times 1,000$  SF x 1.5 = 1,500 SF TO BE REPLACED

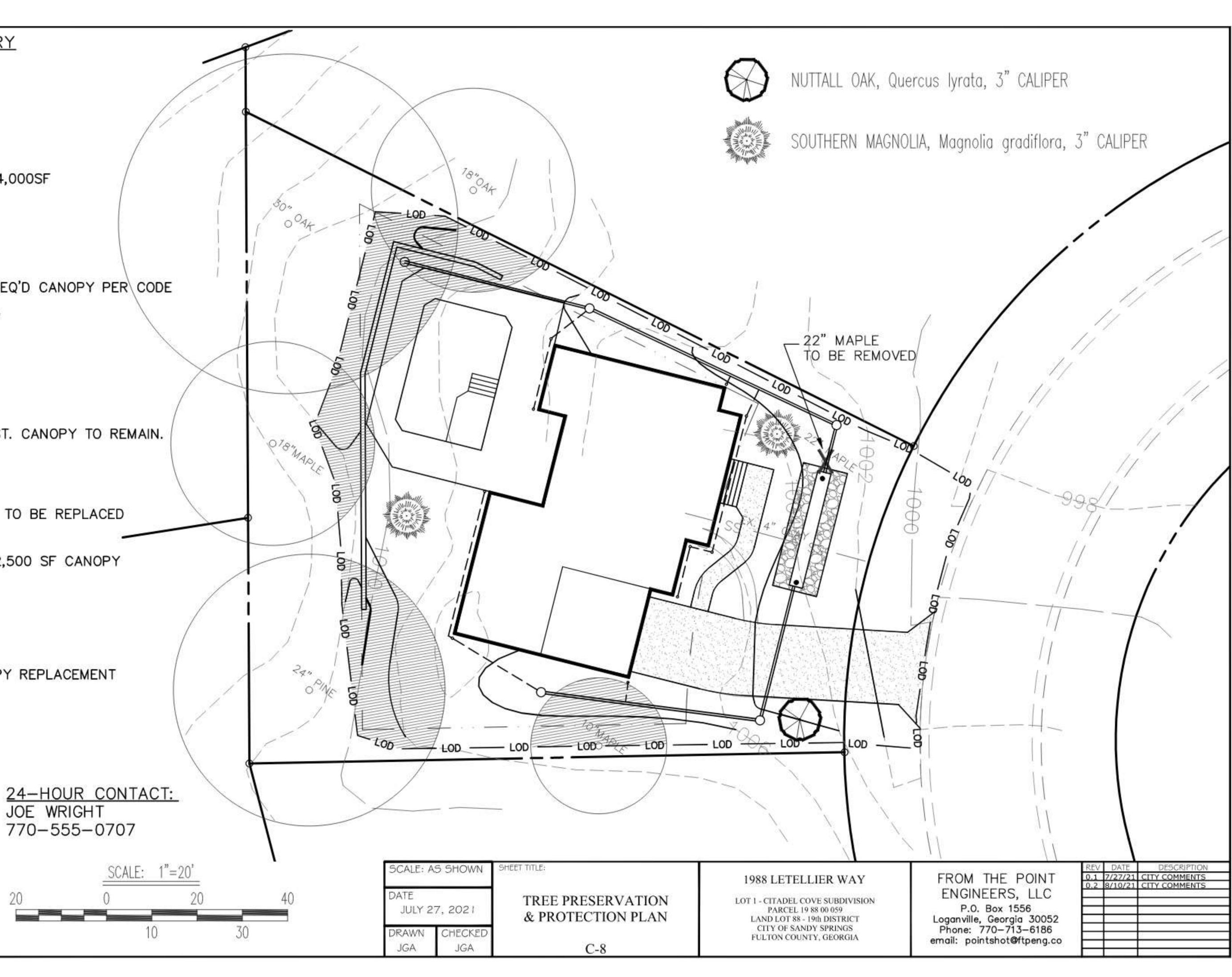
CANOPY REPLACEMENT: 4,000 - 3,000 + 1,500 = 2,500 SF CANOPY REPLACEMENT REQUIRED

REPLACEMENT TREES: (1) 3" OAK (2) 3" MAGNOLIA

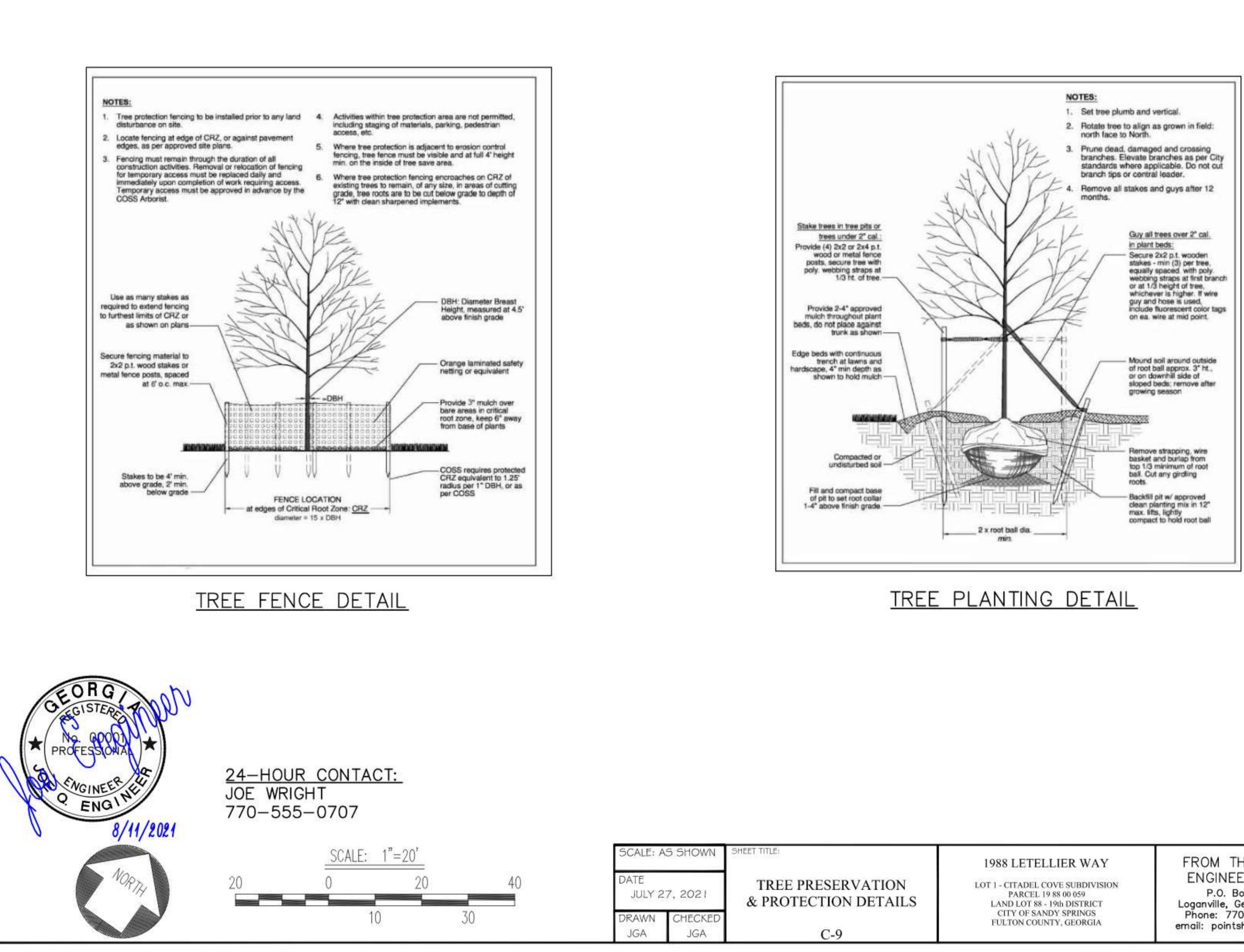
 $3 \times 1,000 = 3,000$ SF CANOPY REPLACEMENT



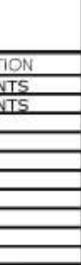
JOE WRIGHT







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.s	LOT 1 - CITADEL COVE SUBDIVISION PARCEL 19 88 00 059 LAND LOT 88 - 19th DISTRICT CITY OF SANDY SPRINGS FULTON COUNTY, GEORGIA	ENGINEERS, LLC P.O. Box 1556 Loganville, Georgia 30052 Phone: 770-713-6186 email: pointshot@ftpeng.co		





# Green Infrastructure





## City of Sandy Springs Green Infrastructure Manual Single Unit Residences

Last update: January 2021



Introduction Chapter 3: Dry Wells Chapter 5: Rain Gardens **Chapter 7:** Permeable Pavers

## **Table of Contents**

- **Chapter 1:** Conservation of Natural Areas
- **Chapter 2:** Rainwater Harvesting: Cisterns and Rain Barrels
- **Chapter 4:** Modified French Drains
- **Chapter 6:** Vegetated Filter Strips
- **Appendix A:** Simplified Infiltration Testing Procedure
- **Appendix B:** Recommended Plants

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### **Chapter 3**

### **Dry Wells**

Dry wells consist of seepage tanks set in the ground and, in metro Atlanta's clay soils, surrounded with stone designed to intercept and temporarily store stormwater runoff until it infiltrates into the soil. Figure 8. Alternately, a large diameter perforated standpipe filled chamber or pipe surrounded with stone can replace the tank.

Dry wells are particularly well suited to receive rooftop runoff entering the tank via an inlet grate at the ground level or directly from a gutter downspout connection. When properly sized and laid out, dry wells can provide significant reductions in stormwater runoff and pollutant loads.

For additional information, consult Section 4.7 Dry Wells of the GSMM Vol. 2.

### **Location Considerations**

- Dry wells cannot be located:

  - bottom;
  - Over other utility lines; or
  - Above a septic field.
- property lines.

#### **Design Criteria**

- Verify with the City if a permit is required.
- 6% in the location where the well is installed.

Beneath an impervious (paved) surface;

- Above an area with a water table or bedrock less than two feet below the trench

Dry wells must be located at least 10 feet from building foundations, wall foundations, and

 Dry wells must be located in a lawn or other pervious (unpaved) area and should be designed so that the top of the dry well is located as close to the surface as possible.

 An infiltration test (see Appendix A) must be administered to determine that a dry well is a viable practice for the specific location. The preferred infiltration rate is 0.5 in/hr. If the rate is less than 0.5 in/hr, contact engineering staff to discuss alternate approaches and requirements. If the rate is less than 0.25 in/hr, this method cannot be used.

The drainage area should not exceed 2,500 SF, and should have a maximum ground slope of

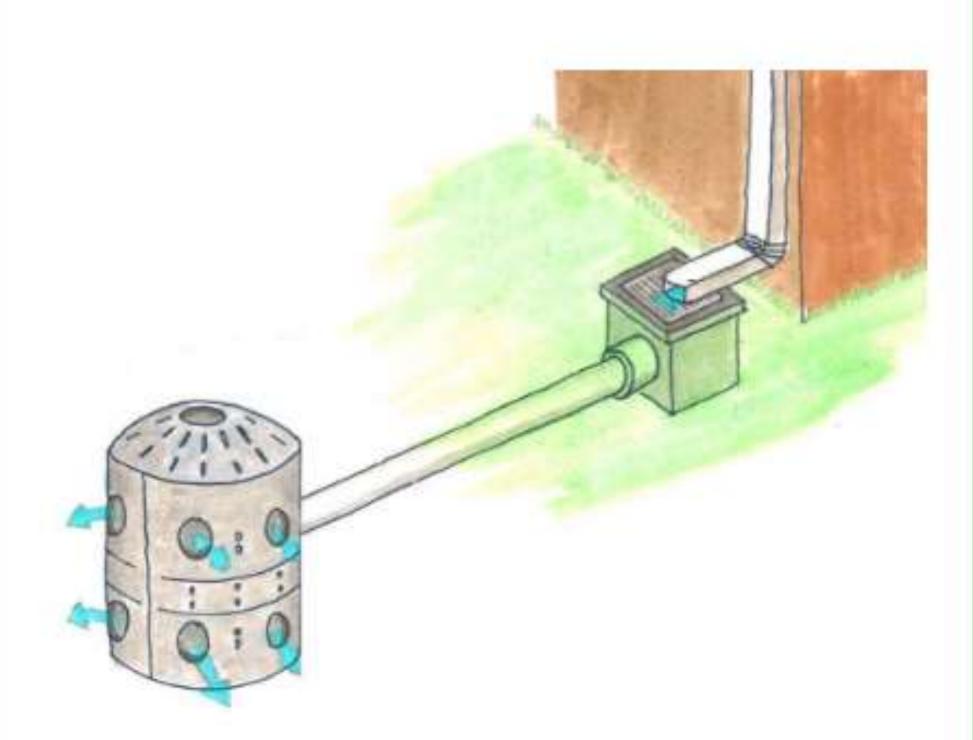


Figure 8 | Drywell system



Figure 9 | Leaf screen



### Chapter 5

### **Rain Gardens**

Rain gardens are small, landscaped depressions filled with a mix of native soil and compost and planted with trees, shrubs and other perennials. They are designed to temporarily store stormwater runoff from rooftops, driveways, patios and other impervious areas while reducing runoff rates and pollutant loads into local streams. A rain garden can be a beautiful and functional addition to the landscape. Figure 18

#### Location

- Rain gardens cannot be located:
  - Within the public right-of-way;
  - Over other utility lines;
  - Above a septic field; or
  - At the edge of a steep slope.

Contributing Impervious Drainage Area (sq ft)	Depth of Amended Soil (in)			
	18	24	30	36
	Required Area of Rain Garden (sq ft)			
100	9.1	7.7	6.7	5.9
250	23	19	17	15
500	45	38	33	29
1000	91	77	67	59
1500	136	115	100	88
2000	182	154	133	118
2500	227	192	167	147

Rain gardens should be located to receive stormwater runoff from impervious surfaces.

Swales, berms, or downspout extensions may be helpful to route runoff to the rain garden.

Locate at least 10 feet from building foundations and retaining walls.

Rain gardens on steep slopes (>10%) may require an alternative design with terracing.



Figure 18 | Rain garden (City of Atlanta)



#### **Chpater 7**

### **Permeable Pavers**

Permeable pavers are an alternative to traditional paving surfaces that can decrease stormwater runoff around your home. They are well suited for constructing sidewalks, parking areas, patios, and driveways.

Permeable pavers consist of interlocking or grid concrete pavers and a drainage layer. A permeable paver system allows stormwater runoff to pass in between the pavers and into an underlying stone reservoir, where it is temporarily stored and allowed to infiltrate into the underlying soils. Permeable pavers can provide significant reductions in, and pollutant loads conveyed to streams by stormwater runoff. However, they are not considered an effective infiltration practice and cannot be used to reach the volume reduction required by Code. Figure 26

#### Location

- feet from buildings with basements.
- Permeable pavers should not be located:
  - tom;
  - over other utility lines; or
  - above a septic field.

#### **Design Considerations**

- or greater.
- should be followed in lieu of these guidelines.

Permeable paver systems should be located at least 5 feet from building foundations and 10

above an area with a water table or bedrock less than two feet below the gravel bot-

Drainage from other areas onto the pavers will eventually clog them and is not allowed.

 Permeable paver systems must be installed on slopes less than 5% to help ensure even distribution of the runoff over the infiltration surface and should slope away from structures.

The subgrade of the permeable pavement surface must not sloped at no greater than 1%

The desirable soil infiltration rate suitable for a paver system is 0.50 inches per hour (in/hr)

Permeable paver systems require multiple layers. Manufacturer's instructions, if they exist,

The top course consists of the pavers and a crushed aggregate material swept between

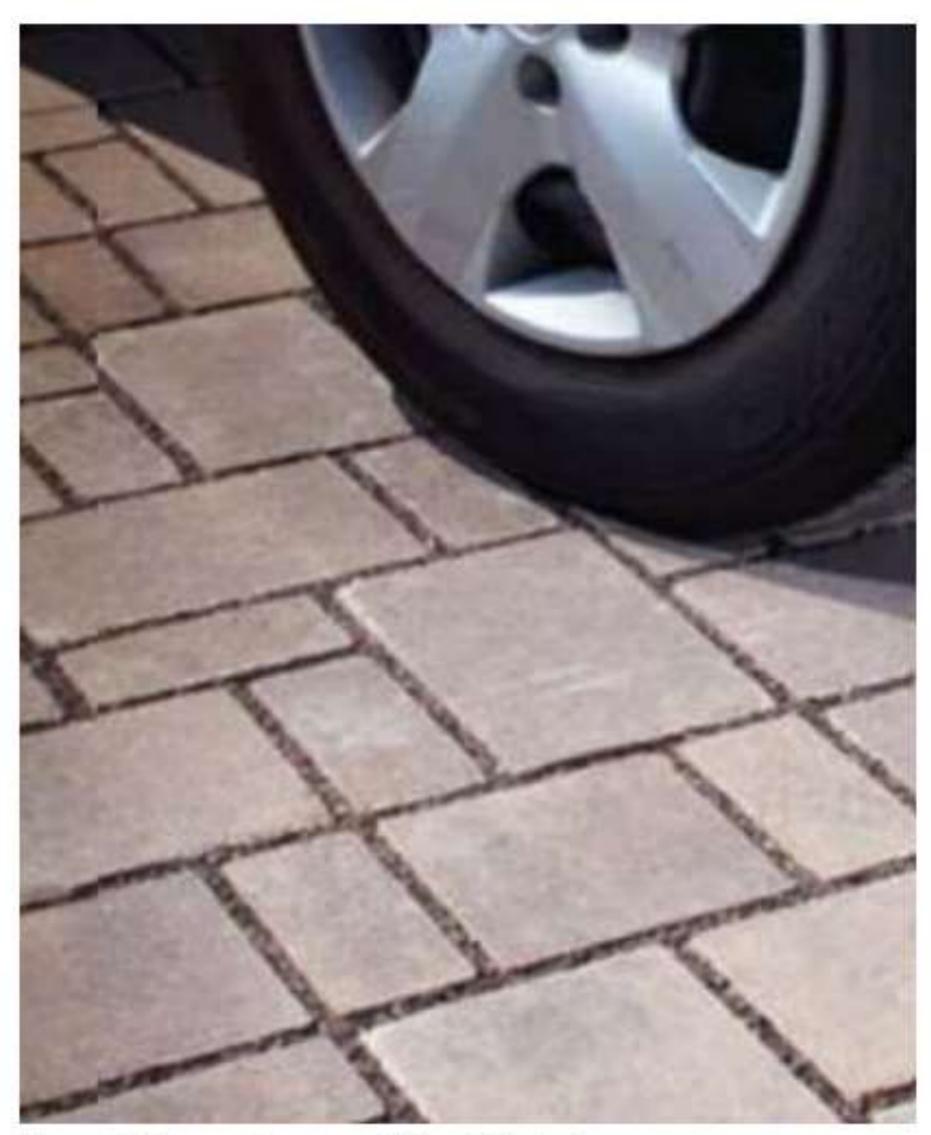


Figure 26 | Permeable pavers (City of Atlanta)



### **Typical Components of Permeable Pavers**

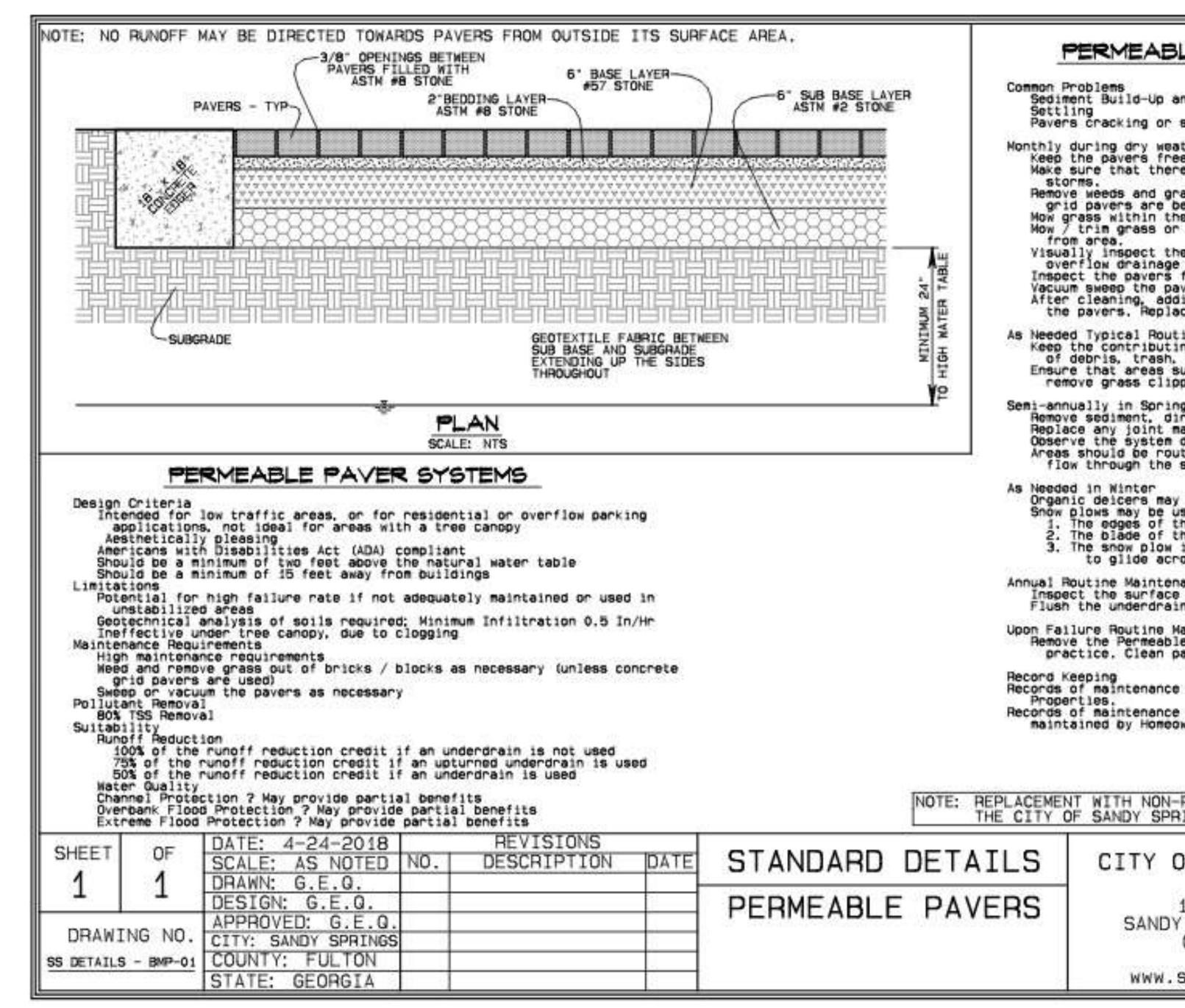


Figure 28 | Permeable Pavers Std Detail (City of Sandy Springs)

LE PAVERS MAINTEN	ANCE
nd electric between Devee	
nd clogging between Pavers splitting	
ther	
e of trash, debris, and sediment e is no standing water in the p	
ass growing between pavers (unle	ess concrete
e pavers (only for concrete grid vegetation near the pavers and	
e pavers after large storms to a system is working.	ensure the
for damage and repair. ver surface to keep free of sed	iment.
itional aggregate may need to be ce aggregate between the pavers	e added between
ine Maintenance Activities ng drainage area and surface of	the pavers clear
and sediment. urrounding the practice are stat pings.	4346 7659 Q D B B B B B B
g and Fall	
rt, leaves, and any debris. aterial that has eroded or wash	ed away.
during a rain event. tinely inspected for settling a system. Repair settled areas.	nd loss of water
be used to melt ice and snow.	
sed when necessary under the fol he plow are beveled.	llowing conditions:
he snow plow is raised 1-2 inch is equipped with snow shoes whit oss uneven surfaces.	es. ch allow the blade
ance Activities	
for deterioration or breaking n system to check for clogging	
aintenance Activities	
e Pavers; include the top and be avers and base aggregate, and re	eplace as needed.
activities are required for Nor	n-Residential
activities are recommended and	
where or residential properties	
	0. 10000011 - FRAM
PERMEABLE SURFACE REQUIRE INGS AND INSTALLATION OF	
	1
OF SANDY SPRINGS	1.100-000
1 GALAMBOS WAY	
(770) 730-5600	SANDY SPRINGS
sandyspringsga.gov	<u>ा</u>



As-Built Drawing





# As-Built Drawing Requirements

- - discovered in the as-built drawing.
  - resubmittal fee.
- Completion.
- - The updated Tree Canopy calculations

• They are uploaded into the permit file and assigned for review • The reviews are completed within 3 business days of submittal • Comments/deficiencies will be sent via email to all contacts within the permit

• As-Built Drawings must match the approved site plans • No new work or significant deviations from the approved construction documents should be

As-built approval is required prior to issuance of Certificate of Occupancy/

• As-built drawings must include the following: • The updated as-built Lot Coverage Calculations • Dimensions from all "pinch points" to the property line to verify placement

- As-Built Drawings shall be submitted via email to: asbuilts@sandyspringsga.gov

  - Deviations will require a plan revision with updated calculations and will incur a \$200



Certificate of Completion



## Certificate of Completion

- - Pass the Final Site Inspection

  - Submit any outstanding contractor's affidavits

• The permittee must email an electronic PDF file of the completed Request for Certificate of Completion (CC) application to the City at: <u>CO@sandyspringsga.gov</u> • Before a CC can be issued, the following items must be completed: Pass the Final Building/Pool/Retaining Wall Inspection

 Pass the Final Zoning Inspection (if applicable) • All maintenance agreements must be signed As-built Drawings must be approved by the City • All outstanding invoices must be paid



Permit Numbers:

Project Address:

Description:

Owner:

Owner Address:

This Certificate of Completion certifies that at the time of issuance, the permitted construction was inspected for compliance with the various building codes, or their intent, as enforced and adopted by the City of Sandy Springs, Georgia at the time the permit was issued.

Jonathan Livingston, Building Official

### **Certificate of Completion**



SANDY SPRINGS"

GEORGIA

POOL21-00999

1 Galambos Way Sandy Springs, GA 30328

**Residential Pool** 

City of Sandy Springs

1 Galambos Way Sandy Springs, GA 30328 **Building Code:** 

Automatic Sprinkler System:

Special Conditions: None

Date

1 GALAMBOS WAY, SANDY SPRINGS, FULTON COUNTY, GEORGIA 30328

2018 International Swimming Pool & Spa Code

No

05/26/21

Future Seminar Topics



## Future Seminar Topics

- Wednesday, September 1, 2021:
- Wednesday, September 22, 2021:
- Wednesday, October 20, 2021:
- Wednesday, November 17, 2021:

Time Installation

How to Pass Your Inspections the First

Proper Wood Connector Design and

Citizen Self Service (CSS) – Your Gateway to Online Permitting

City Stormwater Management & Tree Ordinance Requirements







# Ouestions



# Survey

