

SITE PLAN REQUIREMENTS FOR DESIGN PROFESSIONALS

Attend the next BUILD: SANDY SPRINGS webinar to learn about all the submittal requirements that are required to be shown on the site plan drawings (which may include civil and landscape drawings) before they can be approved. Many of the things that makes Sandy Springs such a desirable area to live such as topography, trees, rivers and creeks also makes designing new structures a challenge. We will go into detail about the State and Local design requirements and how to effectively convey these requirements into the site plans.

This seminar is free and open to the public. It is strongly recommended for all surveyors, civil engineers and landscape architects. Due to the recent COVID variants, this will be a virtual event. You **don't want to miss this next great webinar!**

When: Wednesday, August 18, 2021
9:00am to 10:30am

Where: Webinar link will be sent via
e-mail after you register

Cost: Free (you must register online
to attend)

Register: spr.gs/BuildSeminars

BUILD: SANDY SPRINGS

Let's build something great together



The background is a detailed architectural floor plan in white lines on a dark blue background. It shows various rooms including bedrooms (QUARTO), bathrooms (SANIT), a hallway (HALL), and service areas (SERVICO). Rooms are labeled with their area in square meters (M²). For example, QUARTO 2 is 12.04 M², SANIT 4.36 M², SANIT 5.02 M², SANIT 5.04 M², HALL 0.95 M², SERVICO 2.25 M², SERVICO 2.25 M², and others. There are also labels for doors (P1, P2, P3) and furniture like beds, sofas, and tables.

BUILD: SANDY SPRINGS

Let's build something great together

BUILD: SANDY SPRINGS

Let's build something great together

- “**BUILD: SANDY SPRINGS**” is a series of seminars presented by the Community Development department of the City of Sandy Springs, GA.
- It is intended to educate the public on the current policies, procedures and expectations of the City of Sandy Springs, GA as it relates to construction within the jurisdiction.
- The information presented in these seminars is subject to change with new Code adoptions, changes in City ordinances and zoning, and changes in office policy as it relates to current construction trends.

SITE PLAN REQUIREMENTS FOR DESIGN PROFESSIONALS



SANDY SPRINGS™
GEORGIA

August 18, 2021

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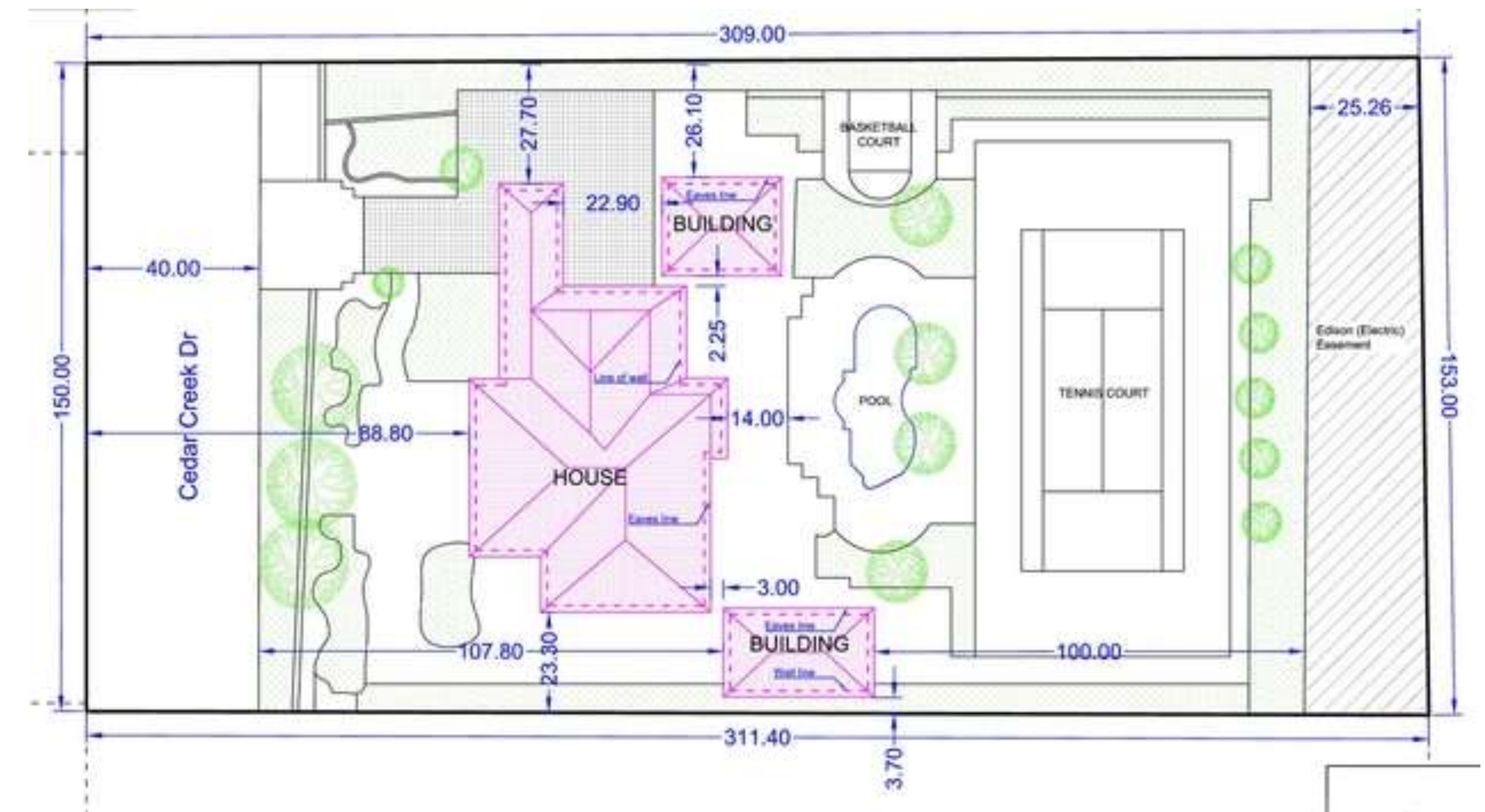
- Permitting
- **The “Plan Review Process”**
- Document Submittal Requirements
- Zoning & Design Requirements
 - Step 1 - Zoning District
 - Step 2 - Building Setbacks
 - Step 3 - Maximum Lot Coverage
 - Impervious Calculations
 - Step 4 - Minimum Tree Canopy Coverage
 - Tree Canopy Calculations
- Zoning & Design Requirements (cont.)
 - Step 5 - Grading Limits
 - Step 6 - Locate All Other Items
- Sample Site Plan Drawings
- Green Infrastructure
- As-Built Drawing
- Certificate of Completion
- Questions



Permitting

When is a Permit Required?

- 2018 International Building and Residential Codes (IBC and IRC)
 - When you “construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert, replace any electrical, gas, mechanical or plumbing system...”.
- COSS Development Code
 - Article 11: provides additional permitting information.



Why do you need a Permit?

- The purpose of the Codes is to provide a reasonable level of safety and protection of health, property and public welfare by regulating and controlling the design, construction, installation, quality of materials, location and maintenance or use of buildings, land and structures.
- Ensure that the natural environment is not adversely affected by construction:
 - Chattahoochee River Corridor
 - Nancy Creek Sensitive Area
 - Stream Buffers
 - Soil Erosion



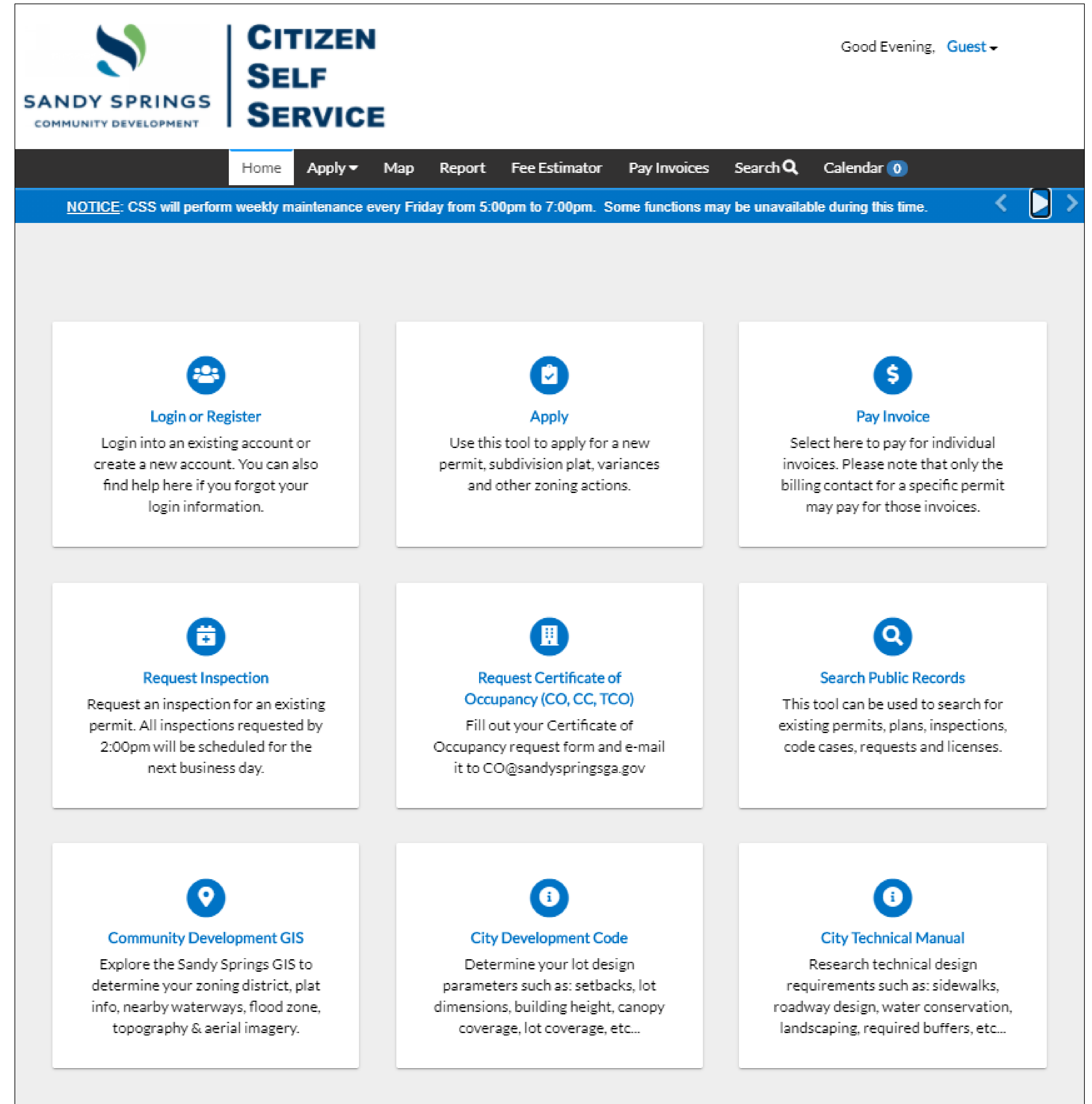
Apply In-Person

- You can apply for a permit in-person at City Hall located at:
*1 Galambos Way
Sandy Springs, GA 30328*
- All in-person applications are by **appointment only using the City's** online queue management system called Qless
- To schedule an appointment online, go to the following website to register:
spr.gs/chq
- The City only accepts electronic PDF files and all construction drawings shall be a single PDF file.






A screenshot of a web browser showing the registration page for the City of Sandy Springs' online appointment system. The page has a white background. In the top left corner is the Sandy Springs Georgia logo, and in the top right corner is the QLESS logo. The main heading reads "Welcome to the City of Sandy Springs' online appointment system. Please tell us about your self." Below this are three light grey input fields with labels: "First name:", "Last name:", and "Cell Phone:". Below the input fields, a small line of text states "Standard text messaging rates will apply." At the bottom of the form are two dark grey buttons: "Back" with a left-pointing arrow and "Next" with a right-pointing arrow. A dark grey footer bar at the very bottom contains the text: "By entering your cellphone number, you agree to receive text messages and information about QLess services."

Apply Online

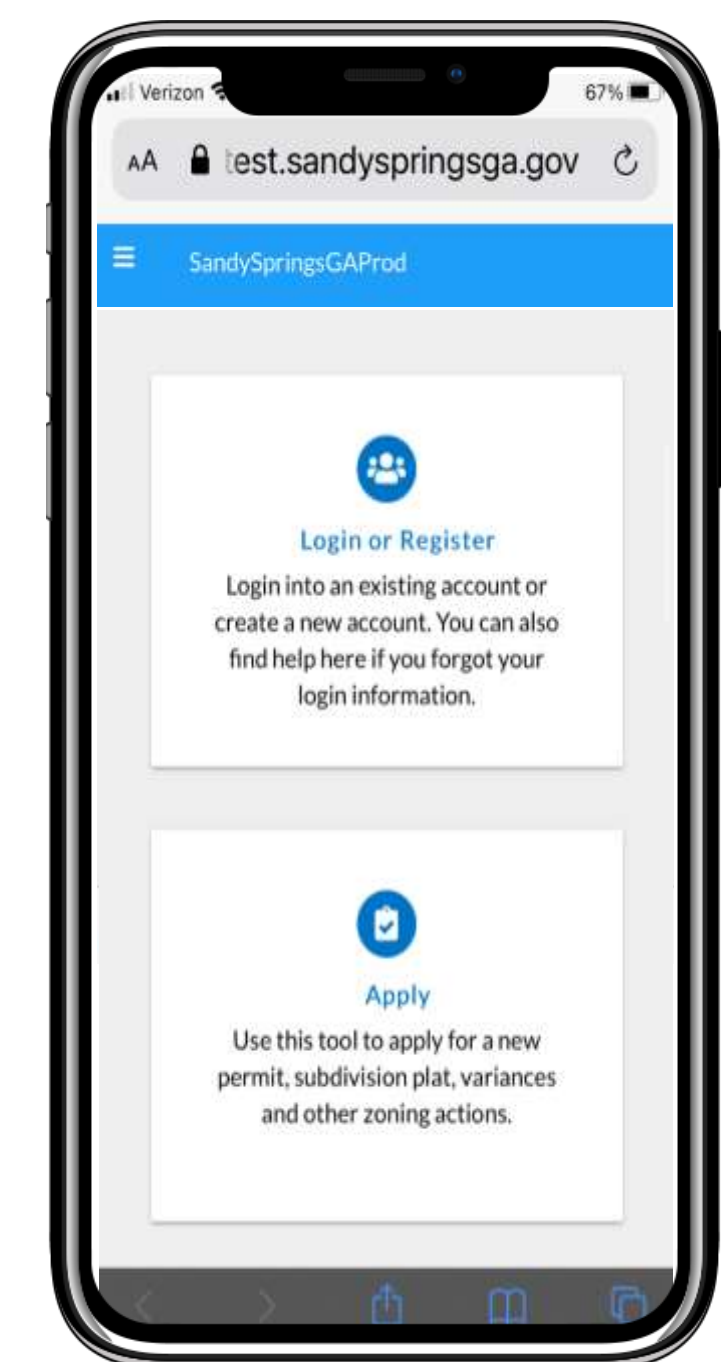
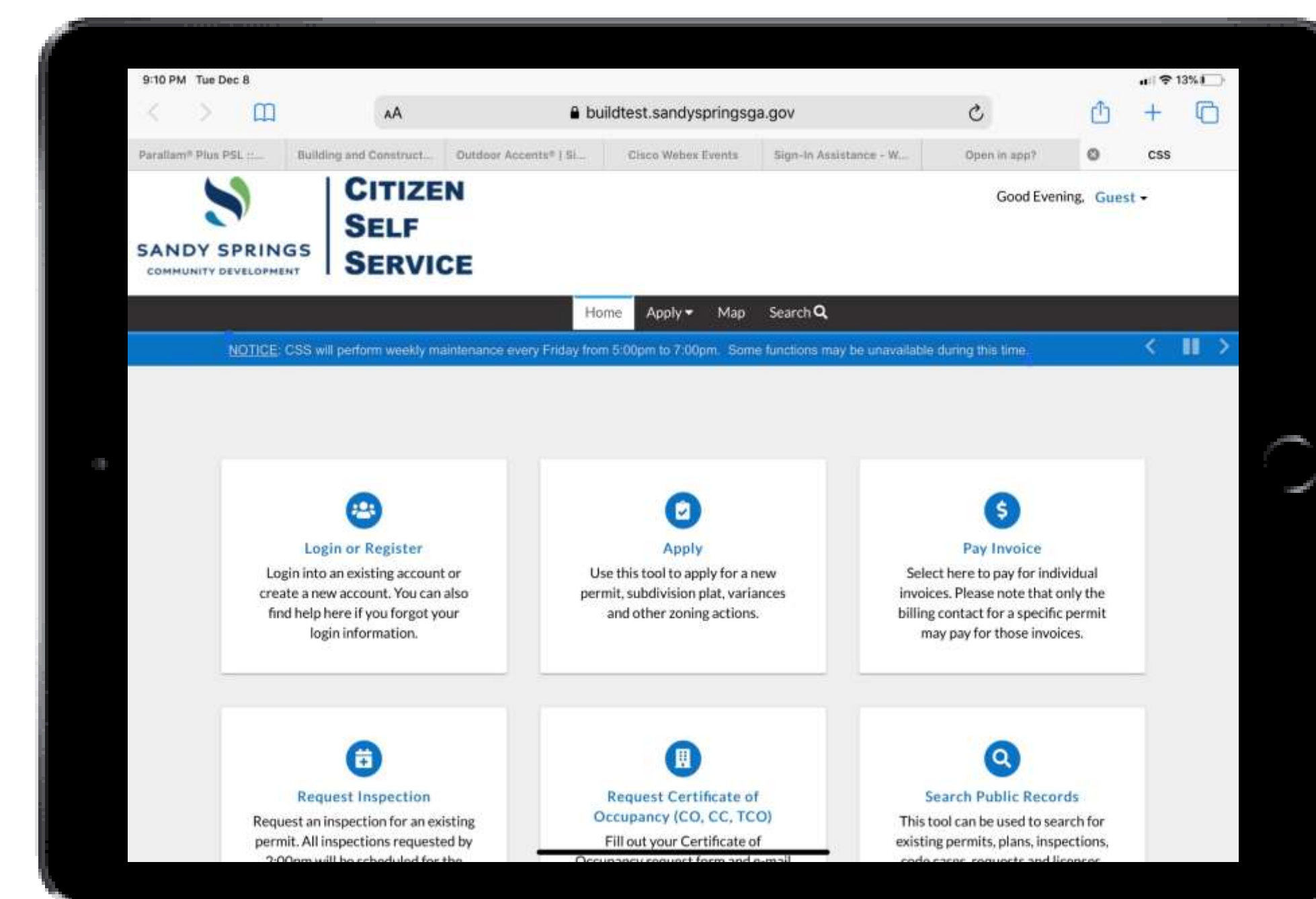
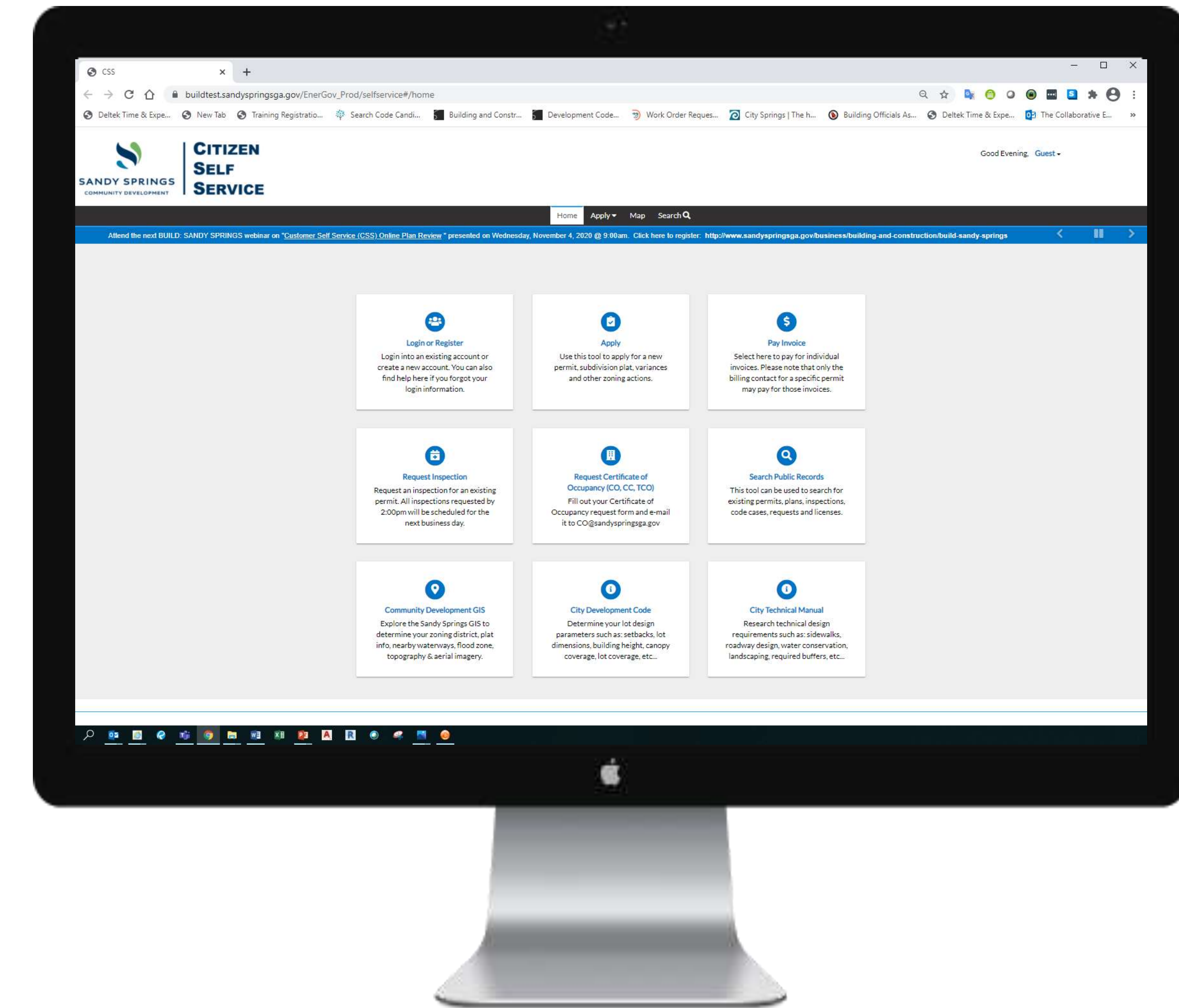
- Customer Self Service (CSS) is the City's online permitting software that allows all applicants (such as homeowners, design professionals, contractors, etc.) to do the following:
 - Apply for all building permits
 - Upload construction documents
 - Download City review comments
 - Request inspections
 - Pay invoices
 - **and more...**
- Customer Self Service (CSS) is a replacement to the older Contractor Access Portal (CAP)



Why apply online?

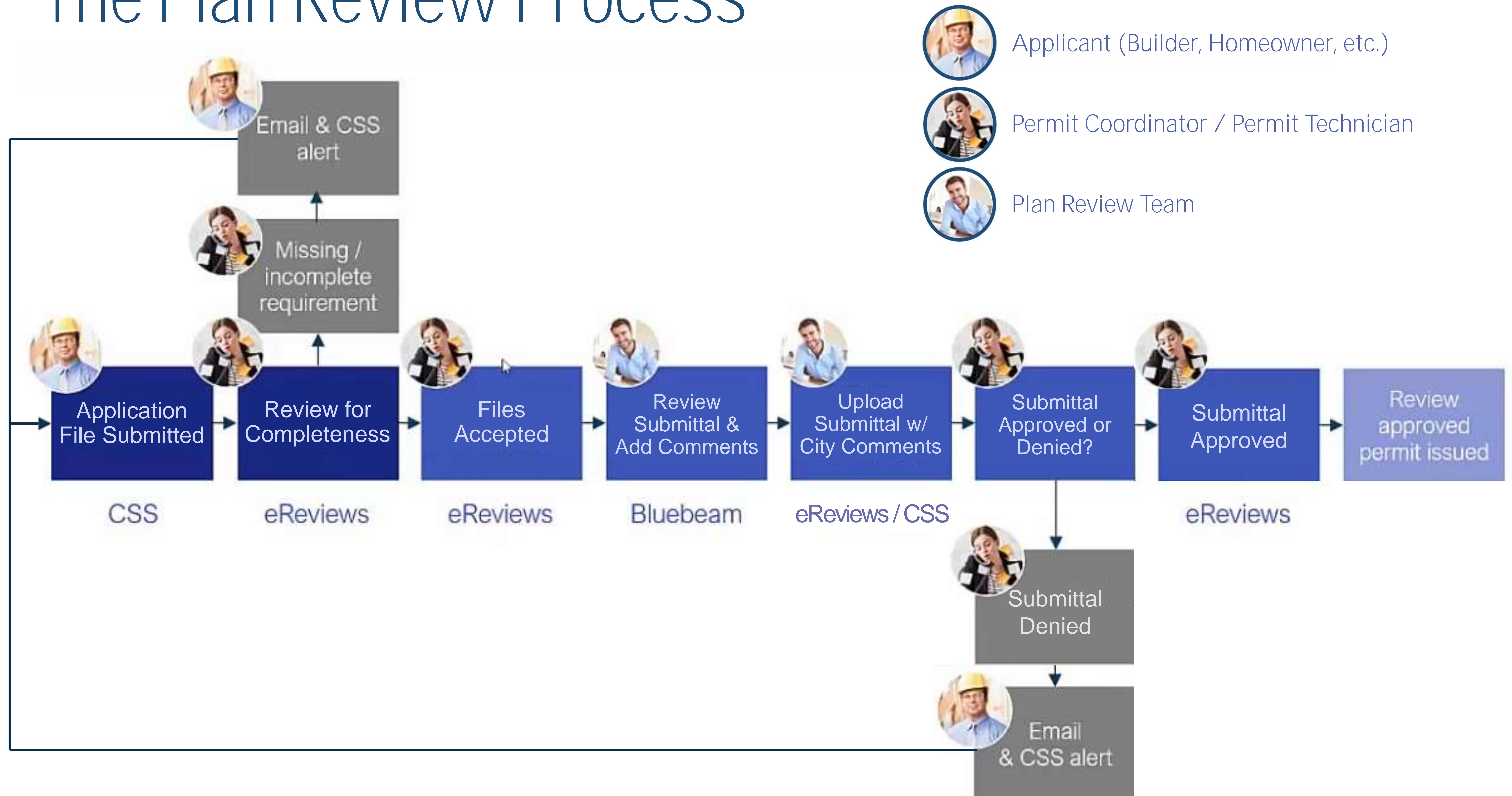
- Accessible from anywhere with an internet connection, 24 hours a day, 7 days a week.
- It is mobile device friendly!
- Can work on multiple web browsers: (    )
- Home screen is icon based
- Includes step by step data entry
- Easier project management
- Save your progress before finishing
- Create templates for repetitive permit types

<https://build.sandyspringsga.gov>



The “Plan Review Process”

The Plan Review Process



Document Submittal Requirements

Site Plan Document Submittal Requirements

- At Permit Application:
 - Completed Permit Application (separate PDF file)
 - Indicate the Billing Contact
 - Indicate the On-Site Contact (superintendent)
 - Contractor Affidavit (separate PDF file)
 - **Include a copy of the current State License, Business License and Driver's License**
 - Complete Set of Site Construction Documents (combined into a single PDF file)
 - Cover Page w/ Project Description, Site Data and Sheet Index
 - Site Plan w/ Lot Coverage Calculations
 - Grading Plan w/ Top & Bottom Wall Elevations
 - Erosion Control Plan & Details
 - Tree Canopy Plan w/ Minimum Tree Canopy Calculations
 - Landscape Plan w/ Fencing and/or Pool Equipment Screening Indicated

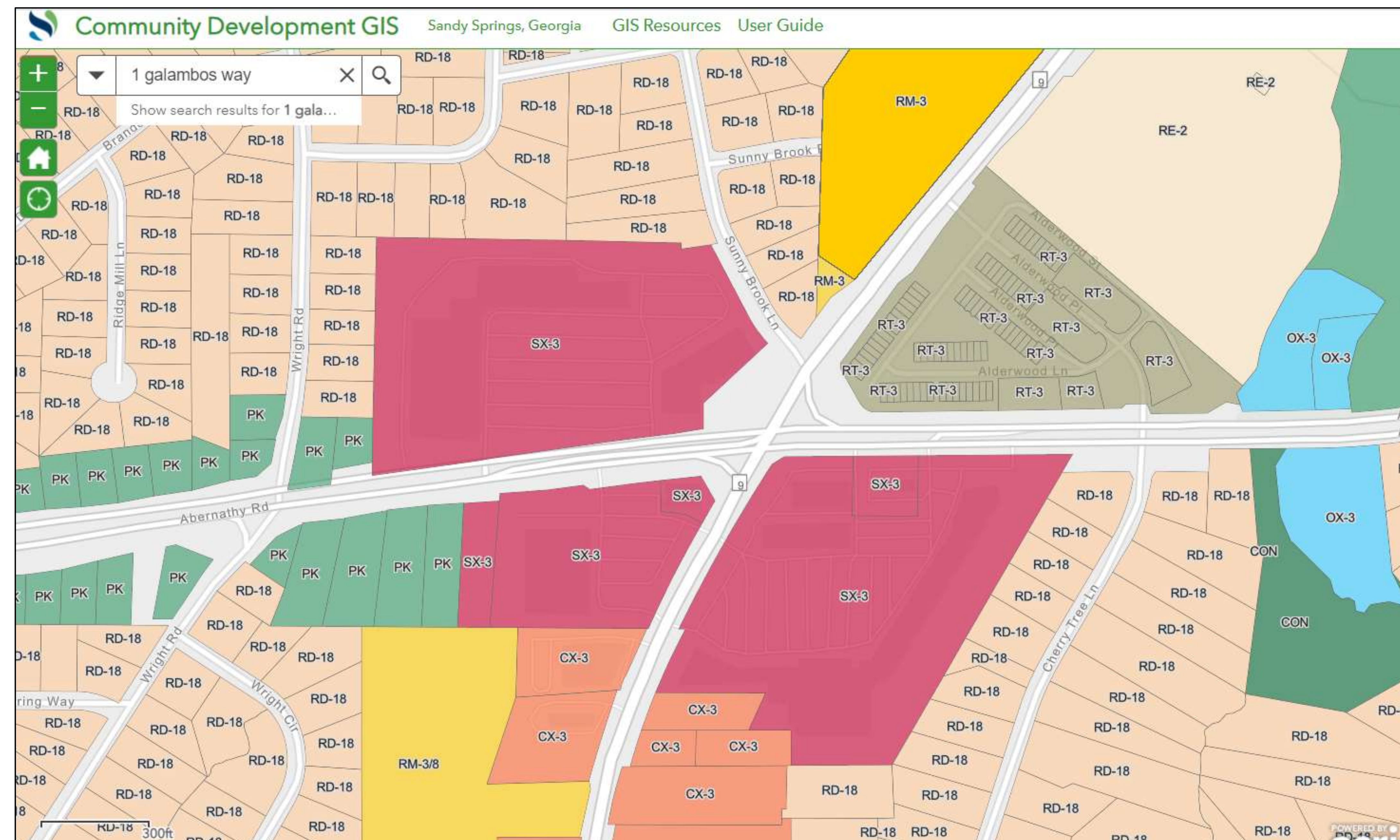
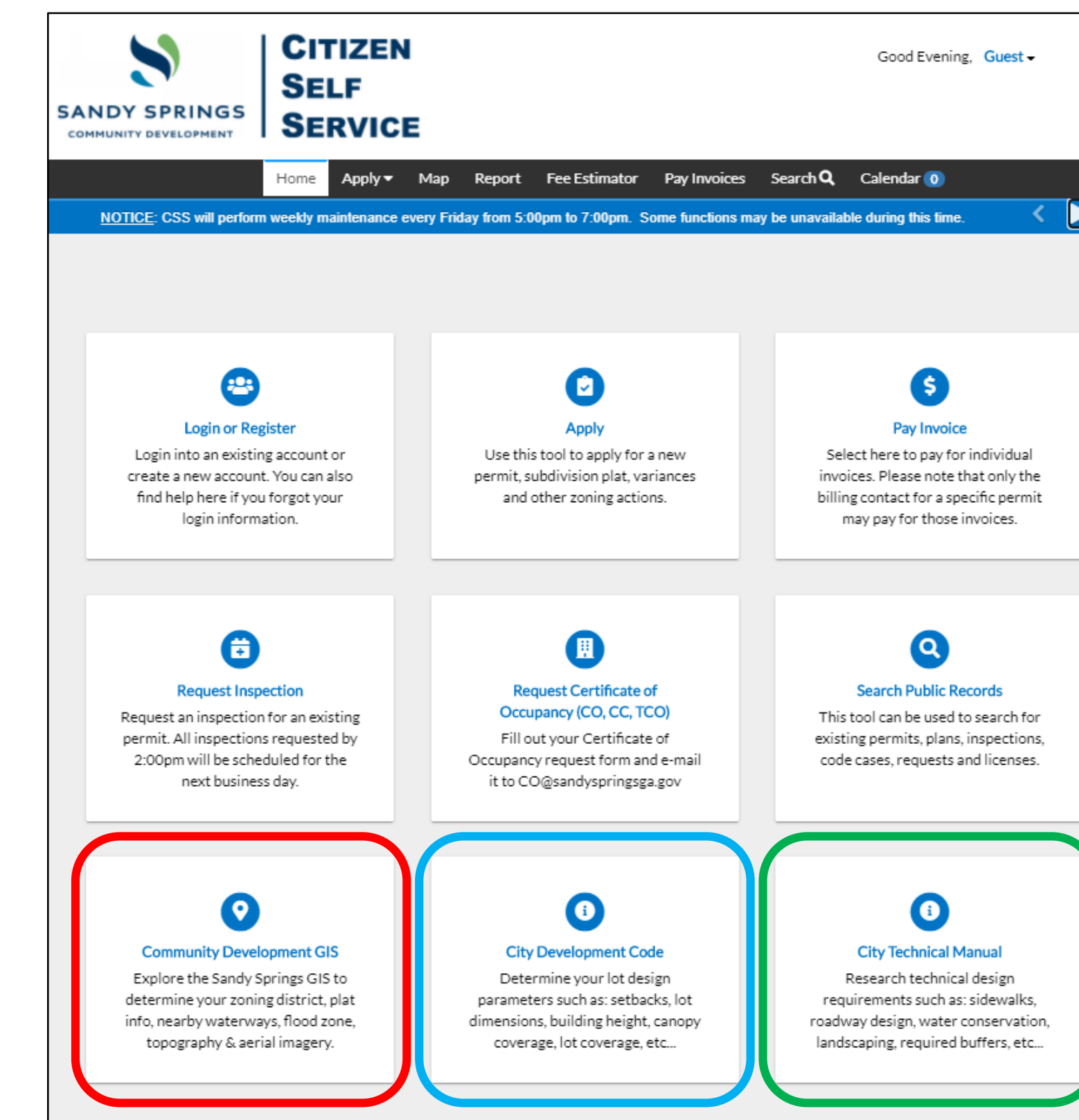
Document Submittal Requirements

- At All Resubmittals & Revisions:
 - All Revisions shall be clouded, dated and clearly labeled
 - Every Resubmittal and Revision shall include ALL construction drawings saved in a single PDF file regardless if changes were made on a particular sheet or not.
 - If new sheets are submitted, the sheet index must be updated.
- City Policies
 - All submittals will be reviewed in the order they are received.
 - Incomplete construction documents will be returned to the customer and will not be reviewed resulting in a customer delay.
 - Resubmittals and Revisions that are not clouded will be returned to the customer and will not be reviewed resulting in a customer delay.
 - Every resubmittal after the first revision will be charged a \$200 resubmittal fee.
 - All drawings shall be coordinated across multiple permits

Zoning & Design Requirements

Step 1: Zoning District

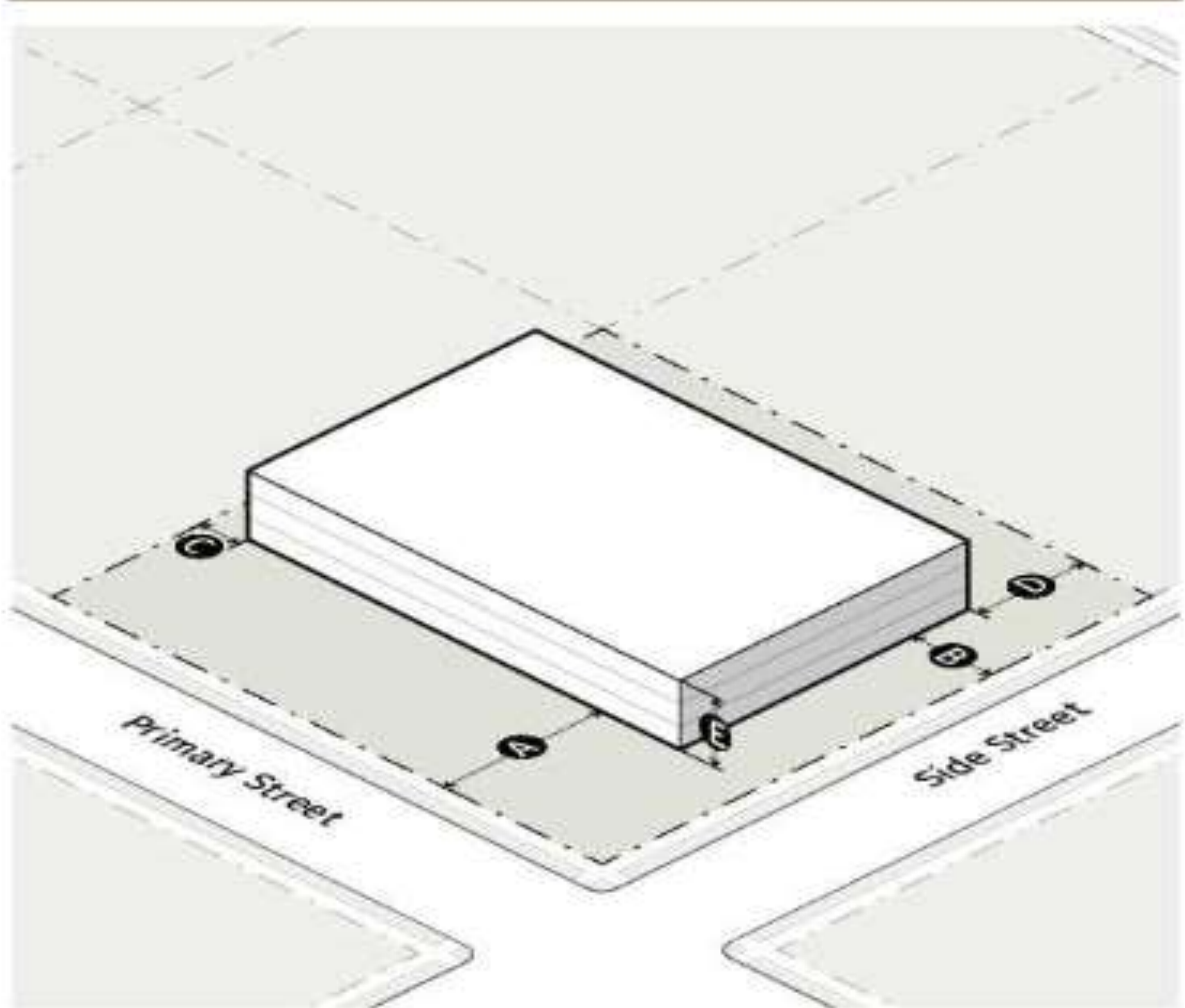
- To begin any project, you must first determine what zoning district your property is zoned for.
- This can be determined on the **City's GIS website**. A link to the website can be found at build.sandyspringsga.gov.
- Simply enter your address at the top left and the zoning district will be the shaded region your property is located.



Step 2: Building Setbacks

- After determining the Zoning District, refer to the development code to determine your building setbacks.
- Building set-backs are located in the Development Code:
 - Article 2 – Protected Neighborhoods
 - Article 3 – Urban Neighborhoods
 - Article 4 – Corridors & Nodes
 - Article 5 – Perimeter Center
 - Article 6 – Rules for all Districts
- Locate the corresponding zoning chart to determine the Building Setbacks

SEC. 2.2.2. PLACEMENT AND HEIGHT

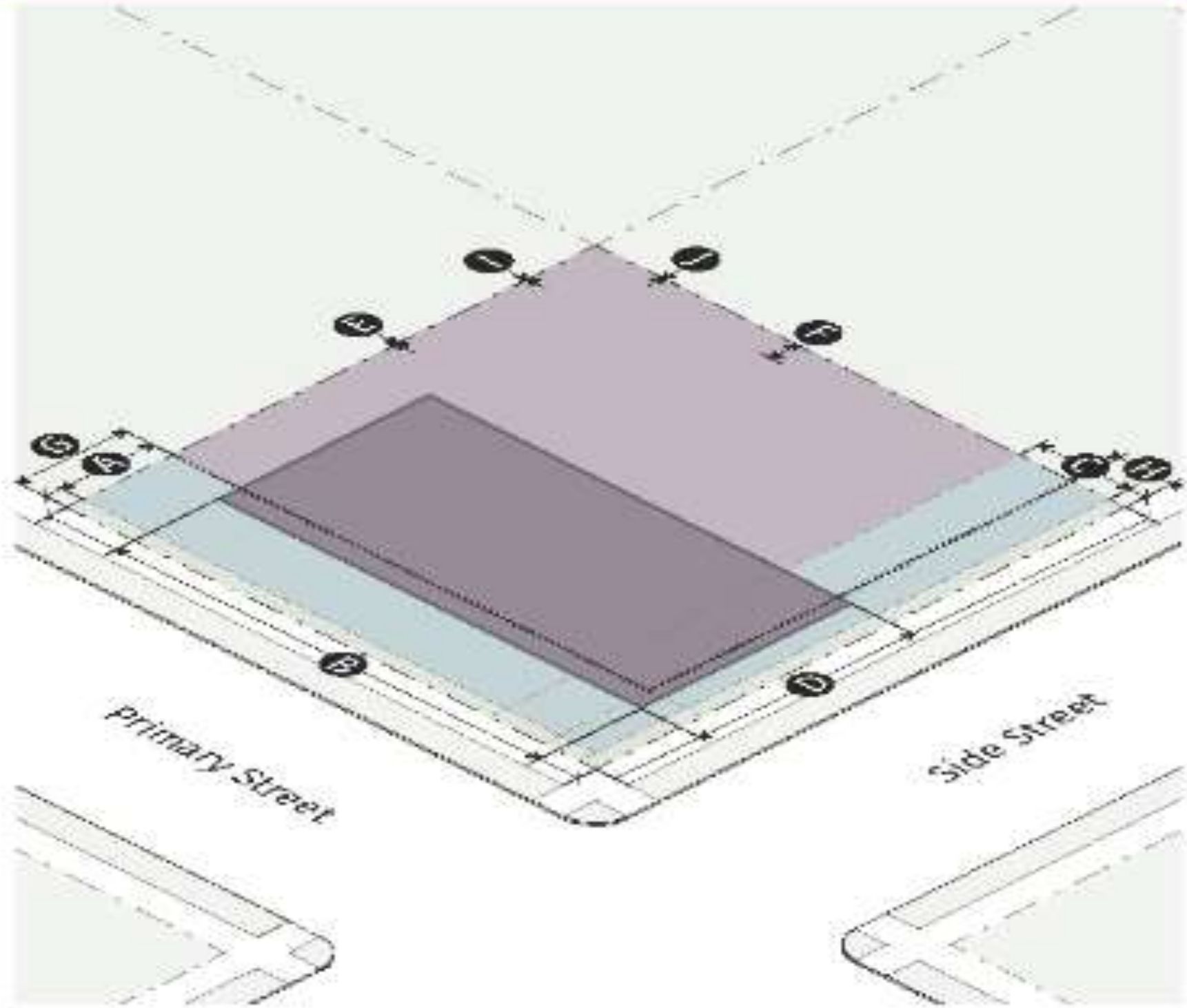


| | RE-2 | RE-1 |
|--------------------------------|---------|---------|
| Building Setbacks | | |
| A Primary street | 60' min | 60' min |
| B Side street | 40' min | 30' min |
| C Side: common lot line | 25' min | 15' min |
| D Rear: common lot line | 50' min | 40' min |

| | | |
|--|-------------------|--|
| Building Height | | |
| E Single-unit detached dwelling | 3 stories/40' max | |
| All other principal uses | By use permit | |

(Ord. of 4-17-2018(3), §§ 2-4, 2-5)

SEC. 4.4.2. BUILDING PLACEMENT



| | | |
|---|----------------|--|
| Build-to Zone | | |
| A Primary street | 3' min/20' max | |
| B % of building facade in primary street build-to zone | 80% min | |
| C Side street | 3' min/20' max | |
| D % of building facade in side street build-to zone | 40% min | |
| Side and Rear Building Setbacks | | |
| E Side: common lot line | 0' min | |
| Side: alley | 5' min | |
| F Rear: common lot line | 0' min | |
| Rear: alley | 5' min | |
| Abutting a Protected Neighborhood | see Div. 6.4 | |

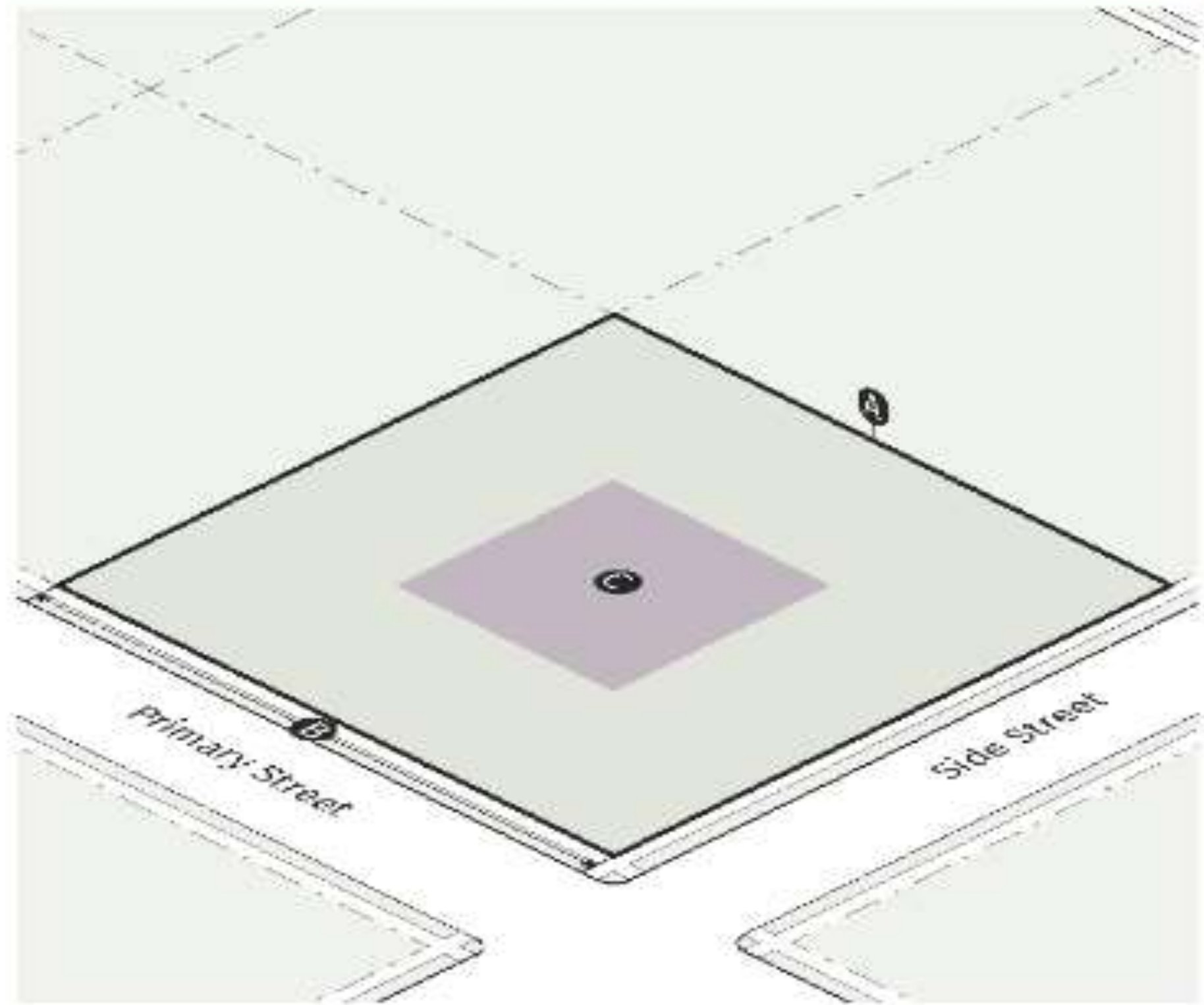
| | | |
|--------------------------------------|--------------|--|
| Parking Setbacks | | |
| G Primary street | 20' min | |
| H Side street | 10' min | |
| I Side: common lot line/alley | 0' min | |
| J Rear: common lot line/alley | 0' min | |
| Abutting a Protected Neighborhood | see Div. 6.4 | |

Step 3: Maximum Lot Coverage

- Maximum Lot Coverages are located in the Development Code:
 - Article 2 – Protected Neighborhoods
 - Article 3 – Urban Neighborhoods
 - Article 4 – Corridors & Nodes
 - Article 5 – Perimeter Center
 - Article 6 – Rules for all Districts
- Locate the corresponding zoning chart to determine the Maximum Lot Coverage

Div. 2.2. Residential Estate (RE-2, -1)*

SEC. 2.2.1. LOT PARAMETERS

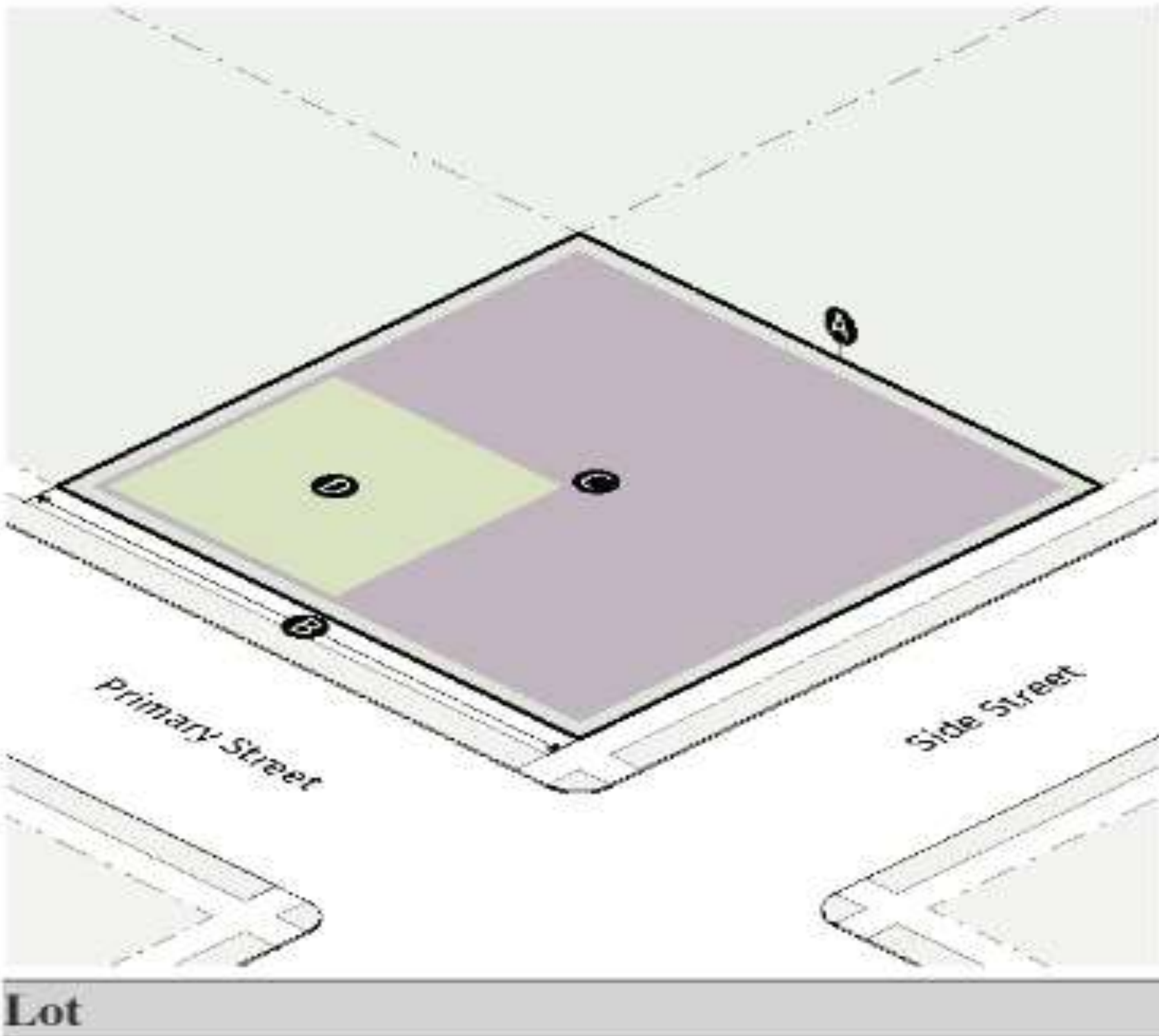


| | | RE-2 | RE-1 |
|----------|--------------------------|---------------|---------------|
| Lot | | | |
| A | Area | | |
| | Single unit detached | 2 acre min | 1 acre min |
| | All other allowed uses | 10,000 SF min | 10,000 SF min |
| B | Width | | |
| | Single unit detached | 200' min | 150' min |
| | All other allowed uses | 100' min | 100' min |
| Coverage | | | |
| C | Lot coverage | | |
| | Residential use | 25% max | 25% max |
| | All other principal uses | By use permit | |
| D | Canopy coverage | | |
| | Residential use | 35% min | 35% min |
| | All other uses | 40% min | 40% min |

(Ord. of 4-17-2018(3), § 2-3)

Div. 4.4. Commercial Mixed Use (CX-)

SEC. 4.4.1. LOT PARAMETERS



| Lot | | | |
|-------------------------|--|----------|--------|
| A Area | | | |
| Single unit attached | | 1,300 | SF min |
| Multi-unit | | 7,500 | SF min |
| All other allowed uses | | 7,500 | SF min |
| B Width | | | |
| Single unit attached | | 16' min | |
| Multi-unit | | 75' min | |
| All other allowed uses | | 75' min | |
| Coverage | | | |
| C Lot coverage | | | |
| | | 85% max | |
| D Outdoor amenity space | | | |
| | | Required | |
| E Canopy coverage | | | |
| Residential use | | 35% min | |
| All other uses | | 40% min | |

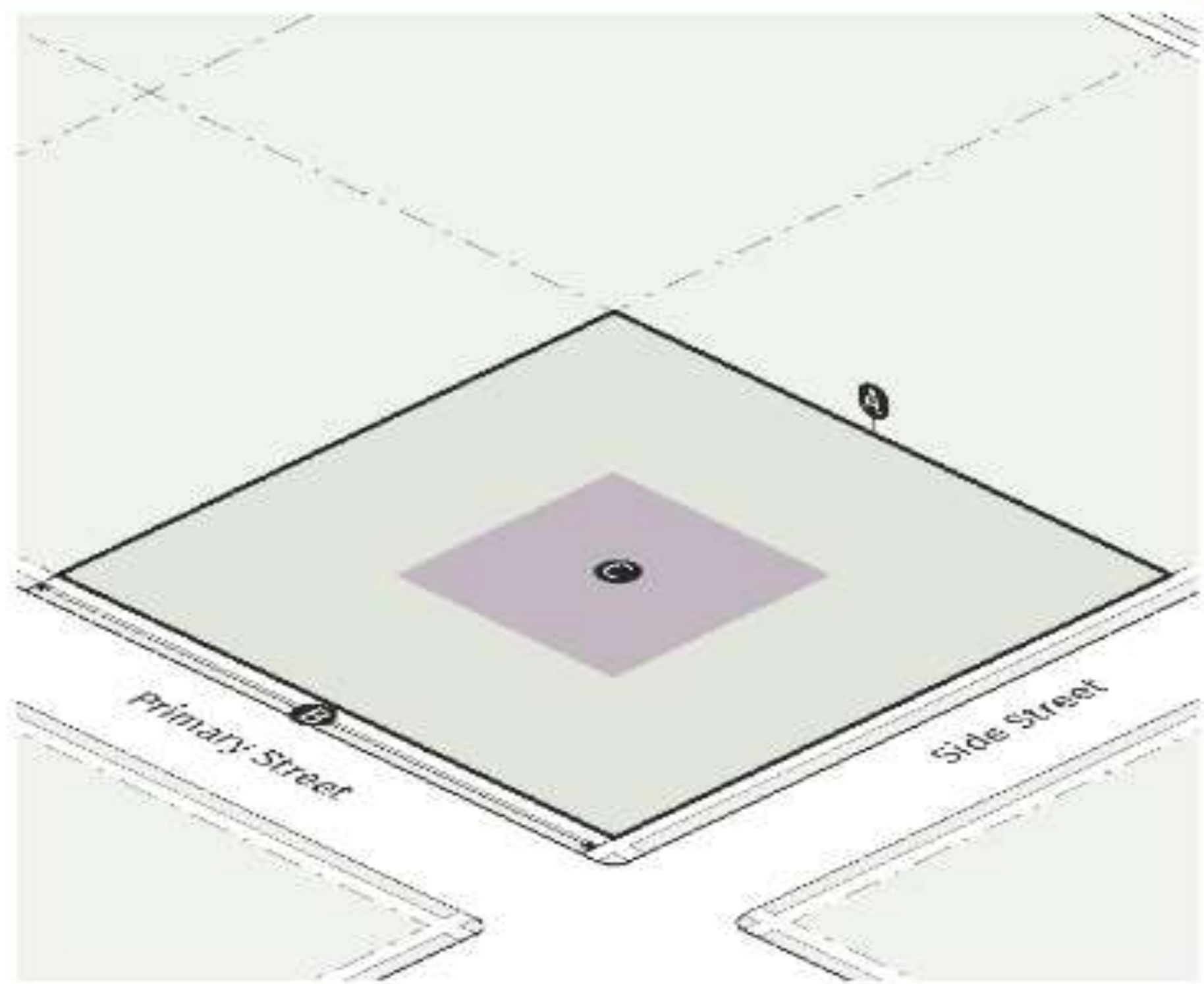
(Ord. of 4-17-2018(3), § 4-5; Ord. No. 2019-01-04, § 1, 1-15-2019)

Step 4: Minimum Tree Canopy Coverage

- Minimum Tree Canopy Coverages are located in the Development Code:
 - Article 2 – Protected Neighborhoods
 - Article 3 – Urban Neighborhoods
 - Article 4 – Corridors & Nodes
 - Article 5 – Perimeter Center
 - Article 6 – Rules for all Districts
- Locate the corresponding zoning chart to determine the Minimum Tree Canopy Coverage

Div. 2.2. Residential Estate (RE-2, -1)*

SEC. 2.2.1. LOT PARAMETERS

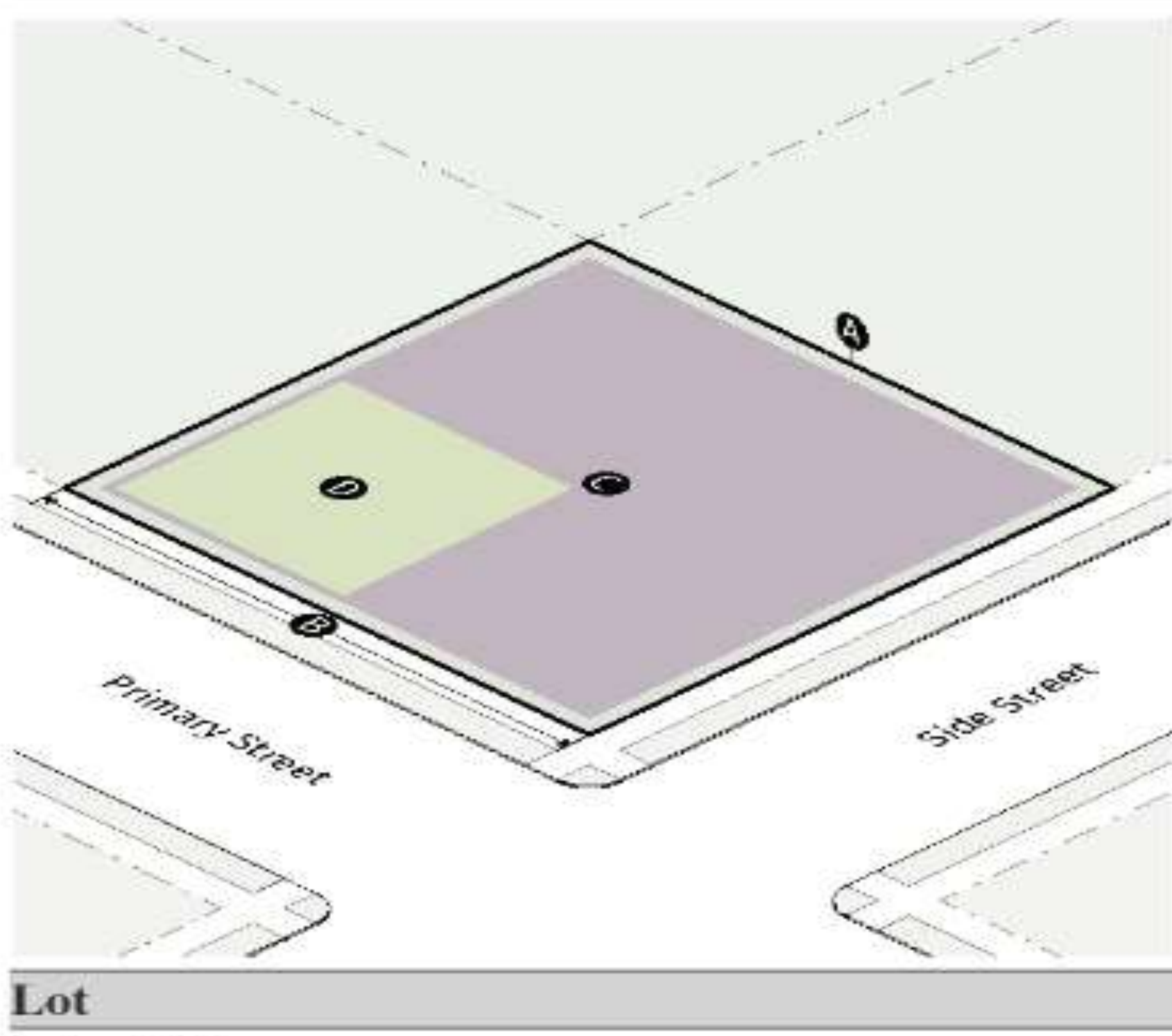


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(Ord. of 4-17-2018(3), § 2-3)

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| All other uses | | 40% min |

(Ord. of 4-17-2018(3), § 4-5; Ord. No. 2019-01-04, § 1, 1-15-2019)

Step 5: Grading Limits

- Grading restrictions are intended to protect trees and vegetation on sites, and to protect the character of the neighborhood.
- Grading Requirements are located in Article 9.4.2 – Environmental Protection of the Development Code.
 - In the side building setbacks:
 - In all RE- districts, grading may encroach up to 10 feet into the required side building setbacks.
 - In all RD- and RU- districts, grading may encroach into the required side building setbacks.
 - In the rear building setbacks:
 - In all RE- districts, no grading is allowed within 20 feet of the rear lot line.
 - In the RD-27, RD-18, and RD-15 districts, no grading is allowed within 15 feet of the rear lot line.
 - In the RD-12, RD-9, RD-7.5, and RU- districts, no grading is allowed within 10 feet of the rear lot line.

Step 6 – Locate All Other Items

- Utility & Access Easements
- State Waters
 - Questionable areas must be determined by James Sanders (Chief Environmental Compliance Officer)
- Show the Stream Buffers
 - **Undisturbed natural vegetative buffer for 50'** as measured from point of wrested vegetation
 - City of Sandy Springs has an additional Impervious Setback of 25'
- Locate all retaining walls on the plans and indicate the top of wall and bottom of wall elevations (Max height = 6 feet for residential and 8 feet for commercial)
- Locate all impervious items (Accessory Structures, Driveways, Sidewalks, Steps, Decks, retaining walls, etc.) on the plans

Sample Site Plan Drawings

OWNER:
Robert and Amanda Cadet
2 Battalion Boulevard
Ashley Banks, South Carolina 29401

24-HOUR CONTACT:
JOE WRIGHT
770-555-0707

PROJECT DESCRIPTION:
Project will consist of construction of a new
5,200 square foot residence, pool and
associated driveways, decks and sidewalks.

SITE DATA:
PARCEL AREA = 0.34 ACRE (14,818 SF)
DISTURBED AREA = 0.28 ACRE (12,342 SF)

ZONING: RD-12
SETBACKS
PRIMARY STREET: 35' MIN
SIDE STREET: 20' MIN.
SIDE: COMMON LOT LINE: 7' MIN
REAR: COMMON LOT LINE: 25' MIN.
MAX. HEIGHT: 3 STORIES / 40' MAX
LOT COVERAGE: 38% MAX
CANOPY COVERAGE: 35% MIN.

EXISTING IMPERVIOUS = 3196 SF (21.56%)
PROPOSED IMPERVIOUS = 5,420 SF
LOT COVERAGE = 36.6%

SINGLE FAMILY RESIDENTIAL
DEVELOPMENT PLANS
FOR
BULLDOG BUILDERS, LLC
1988 LETELLIER WAY
SANDY SPRINGS, GA

SHEET INDEX

| | |
|-------|--|
| C-0 | COVER |
| C-1 | EXISTING CONDITIONS PLAN |
| C-2 | BUILDING LOCATION PLAN |
| C-3 | GRADING & DRAINAGE PLAN |
| C-3.1 | STORM WATER MANAGEMENT PLAN |
| C-4 | EROSION AND SEDIMENTATION CONTROL PLAN |
| C-5 | CONSTRUCTION DETAILS |
| C-6 | ES&PC DETAILS |
| C-6.1 | ES&PC DETAILS |
| C-7 | FENCE DETAILS |
| C-8 | TREE PRESERVATION & PROTECTION PLAN |
| C-9 | TREE PRESERVATION & PROTECTION DETAILS |

- NOTES:
- BOUNDARY INFORMATION TAKEN FROM FINAL PLAT OF STANLEY CUP SUBDIVISION DATED AUGUST 1, 1999 RECORDED AT FULTON COUNTY CLERK OF COURT PLAT BOOK 100 PAGE 320
 - TOPOGRAPHIC INFORMATION TAKEN FROM FIELD SURVEY BY EXCELLENT SURVEYING, LLC DATED DECEMBER 31, 2020.
 - SITE IS NOT ON THE CITY OF SANDY SPRINGS SIDEWALK NETWORK
 - NO ZONING BUFFERS, ACCESS EASEMENTS, SEWER EASEMENTS OR STORM EASEMENTS EXIST ON THE PROPERTY.
 - NO STATE WATERS EXIST ON THIS PROPERTY. THIS PROPERTY IS NOT LOCATED WITHIN 200 OF STATE WATERS.
 - THIS SITE [IS/IS NOT] LOCATED WITHIN A ZONE A, AE, OR SHADED ZONE X AS DEFINED BY F.I.R.M COMMUNITY PANEL NUMBER(S) 13121 C0156G FOR FULTON COUNTY, GEORGIA.
 - THIS PROPERTY IN NOT LOCATED WITHIN A FUTURE FLOODPLAIN AREA AS DETERMINED BY THE CITY OF SANDY SPRINGS.
 - THIS SITE IS NOT LOCATED ON THE SANDY SPRINGS SIDEWALK MASTER PLAN
 - NO DECKS, PATIOS, OR PERMANENT STRUCTURES PERMITTED IN BUFFERS OR EASEMENTS.
 - CONTACT THE DEPARTMENT OF COMMUNITY DEVELOPMENT THROUGH THE PORTAL TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SITE INSPECTOR PRIOR TO ANY LAND DISTURBANCE. (THE CUT-OFF TIME FOR NEXT DAY INSPECTION IS 2PM.)
 - AN AS-BUILT DRAWING, CONTAINING A BOUNDARY SURVEY, SITE IMPROVEMENTS, TOP AND BOTTOM OF WALLS, FINISHED FLOOR ELEVATIONS OF BUILDINGS, DECKS, AND POOL, UTILITIES, EASEMENTS, PERTINENT SITE DEVELOPMENT DATA, AND ANY OTHER REQUIREMENTS OF THE COMMUNITY DEVELOPMENT DIRECTOR, SHALL BE SUBMITTED TO AND APPROVED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR A CERTIFICATE OF COMPLETION.
 - BE AWARE THAT A FOUNDATION FORM SURVEY IS REQUIRED FOR ALL NEW CONSTRUCTION/NEW ADDITIONS WHERE THE BUILDING IS LOCATED WITHIN 5 FEET OF ANY SET-BACK, EASEMENT, OR BUFFER. THE FOUNDATION FORM SURVEY SHALL BE SIGNED BY A SURVEYOR LICENSED IN THE STATE OF GEORGIA.
 - ALL STORMWATER RUNOFF REDUCTION, WATER QUALITY AND GREEN INFRASTRUCTURE BMPS WILL REQUIRE INSPECTION AND CERTIFICATION BY THE DESIGN PROFESSIONAL PRIOR TO FINAL SITE INSPECTION APPROVAL. AS-BUILT DRAWINGS MUST INCLUDE THIS CERTIFICATION, BMP DIMENSIONS (LENGTH, WIDTH AND DEPTH) AND AS-BUILT COORDINATES (GEORGIA STATE PLANE - WEST ZONE).



CONSTRUCTION HOURS:
7:30 AM - 7:30 PM MON-FRI
8:00 AM - 5:00 PM SAT

| | | |
|-----------------|--|--|
| SCALE: AS SHOWN | | SHEET TITLE: |
|-----------------|--|--|



C-1

LOT 1 - CITADEL COVE SUBDIVISION
PARCEL 19 88 00 059
LAND LOT 88 - 19th DISTRICT
CITY OF SANDY SPRINGS
FULTON COUNTY, GEORGIA

P.O. Box 1556
Loganville, Georgia 30052
Phone: 770-713-6186
email: pointshot@ftpeng.co

[illegible]

| | | |
|------------------|--------------|------------|
| HOUSE | 2,693 | SFT |
| DRIVEWAY | 771 | SFT |
| SIDEWALKS | 206 | SFT |
| POOL & POOL DECK | 1,634 | SFT |
| WALLS | 116 | SFT |
| TOTAL | 5,420 | SFT |

PROPOSED BUILDING HEIGHT = 32.67'

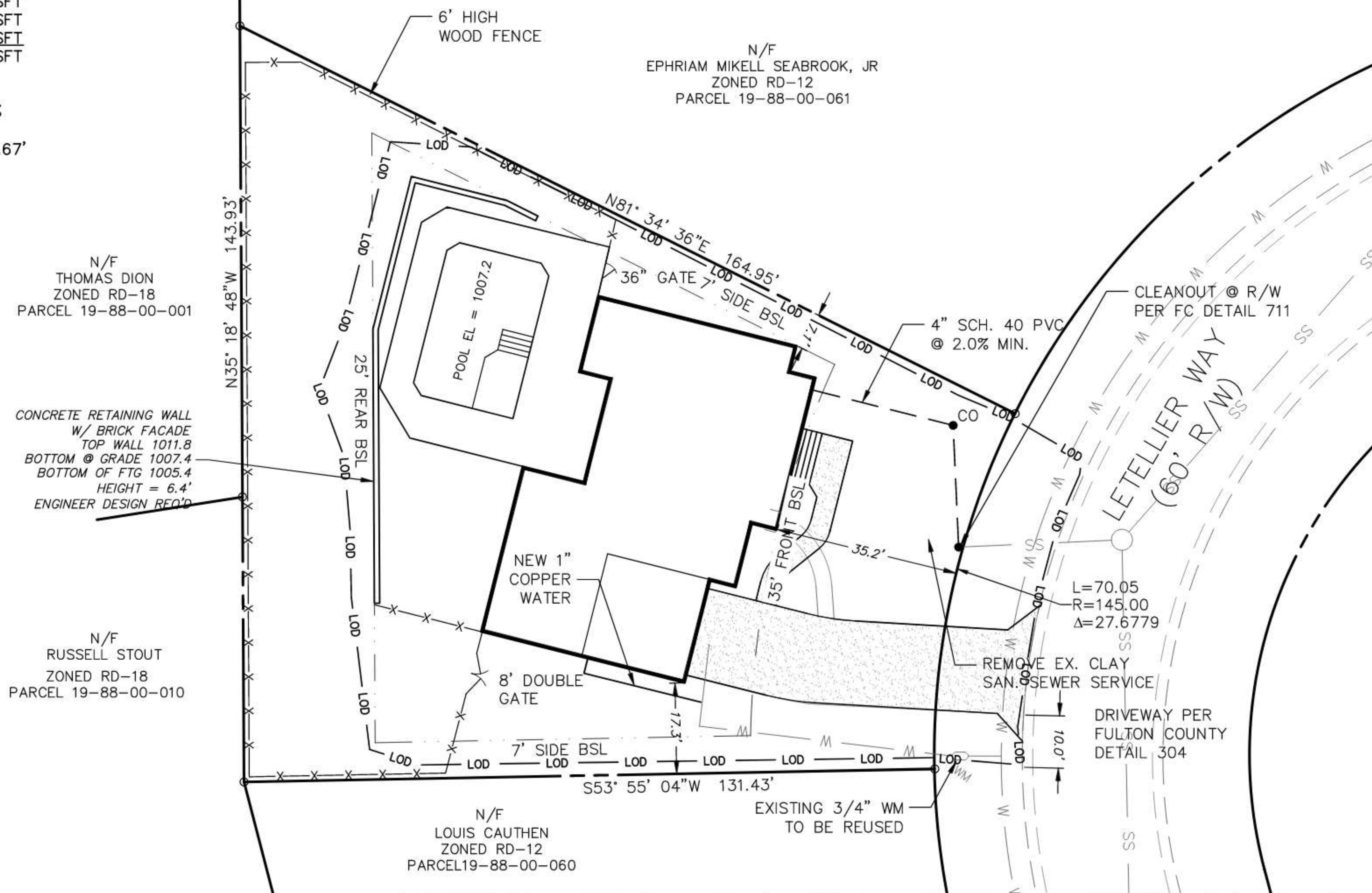
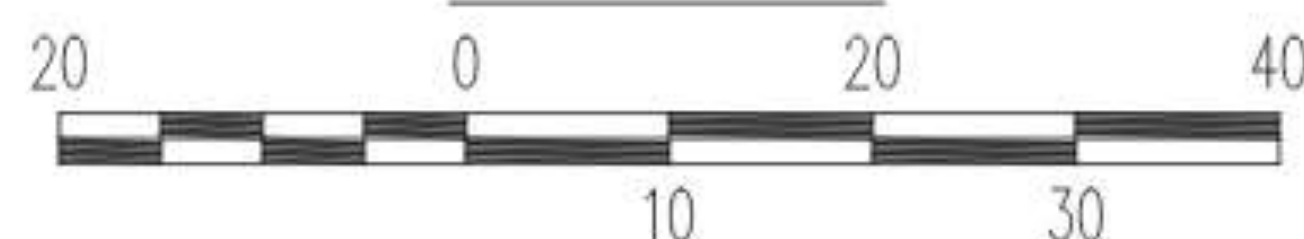
24-HOUR CONTACT:
JOE WRIGHT
770-555-0707



8/11/2021



SCALE: 1"=20'



SCALE: AS SHOWN

SHEET TITLE:

DATE
JULY 27, 2021

| | |
|--------------|----------------|
| DRAWN JGA | CHECKED JGA |
|--------------|----------------|

BUILDING LOCATION PLAN

C-2

1988 LETELLIER WAY

LOT 1 - CITADEL COVE SUBDIVISION
PARCEL 19 88 00 059
LAND LOT 88 - 19th DISTRICT
CITY OF SANDY SPRINGS
FULTON COUNTY, GEORGIA

FROM THE POINT
ENGINEERS, LLC

P.O. Box 1556
Loganville, Georgia 30052
Phone: 770-713-6186
email: pointshot@ftpeng.co

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| | | |
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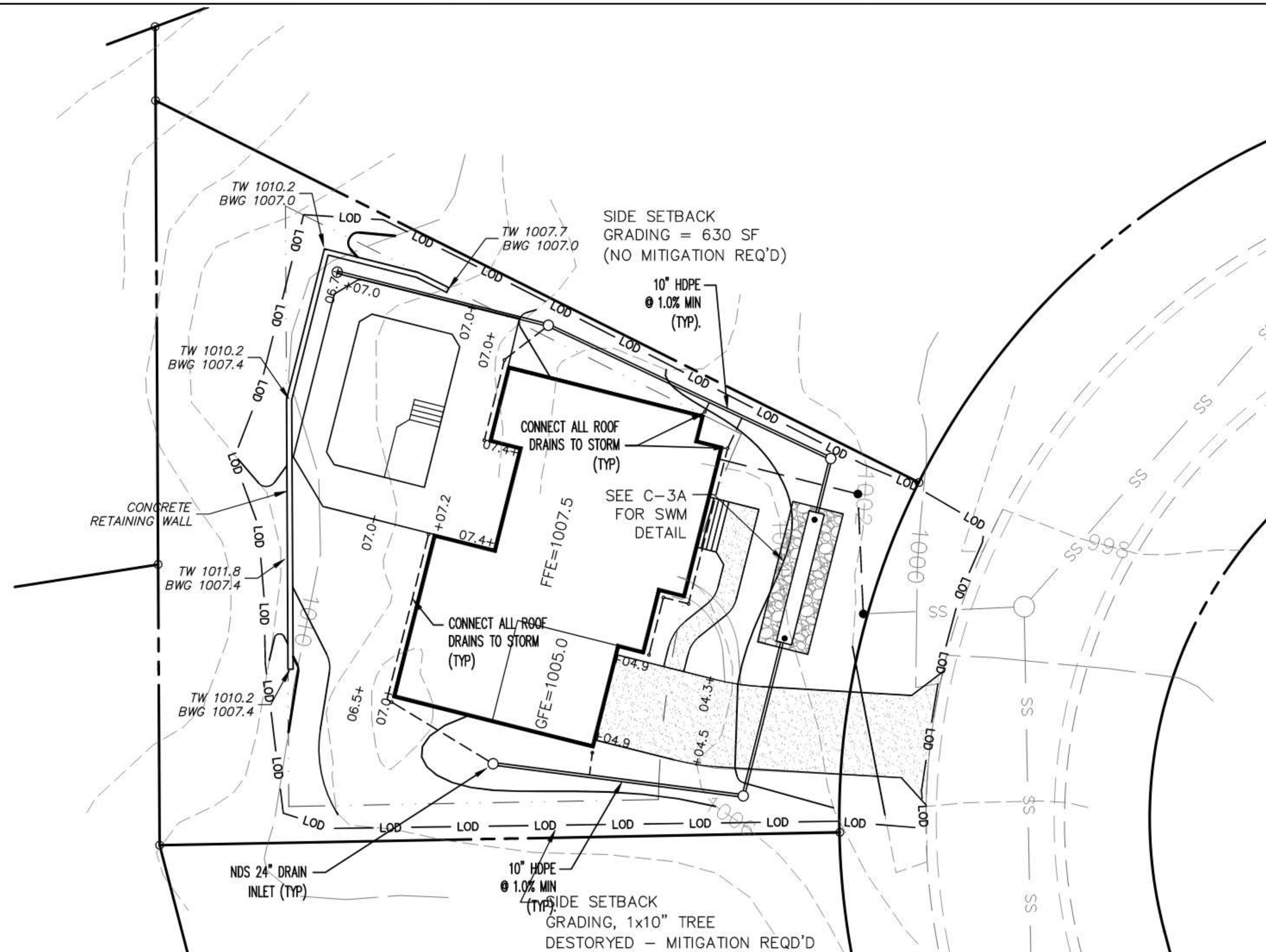
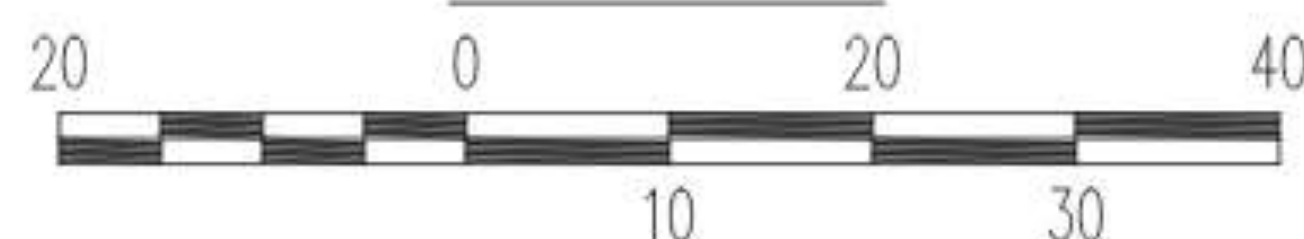
24-HOUR CONTACT:
JOE WRIGHT
770-555-0707



8/11/2021



SCALE: 1"=20'



SCALE: AS SHOWN

DATE
JULY 27, 2021

| | |
|--------------|----------------|
| DRAWN JGA | CHECKED JGA |
|--------------|----------------|

SHEET TITLE:

GRADING AND DRAINAGE PLAN

C-3

1988 LETELLIER WAY

LOT 1 - CITADEL COVE SUBDIVISION
PARCEL 19 88 00 059
LAND LOT 88 - 19th DISTRICT
CITY OF SANDY SPRINGS
FULTON COUNTY, GEORGIA

FROM THE POINT
ENGINEERS, LLC

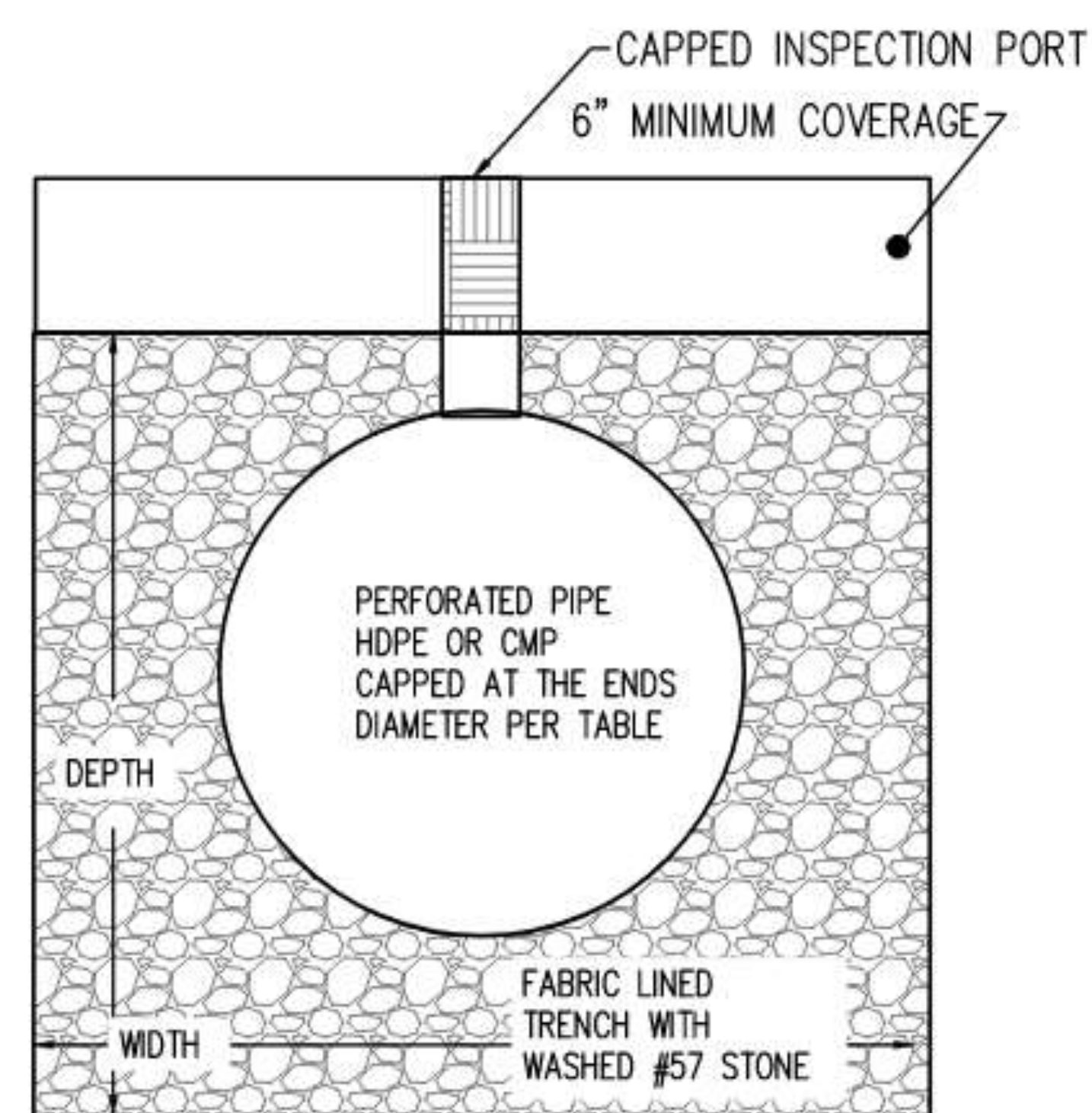
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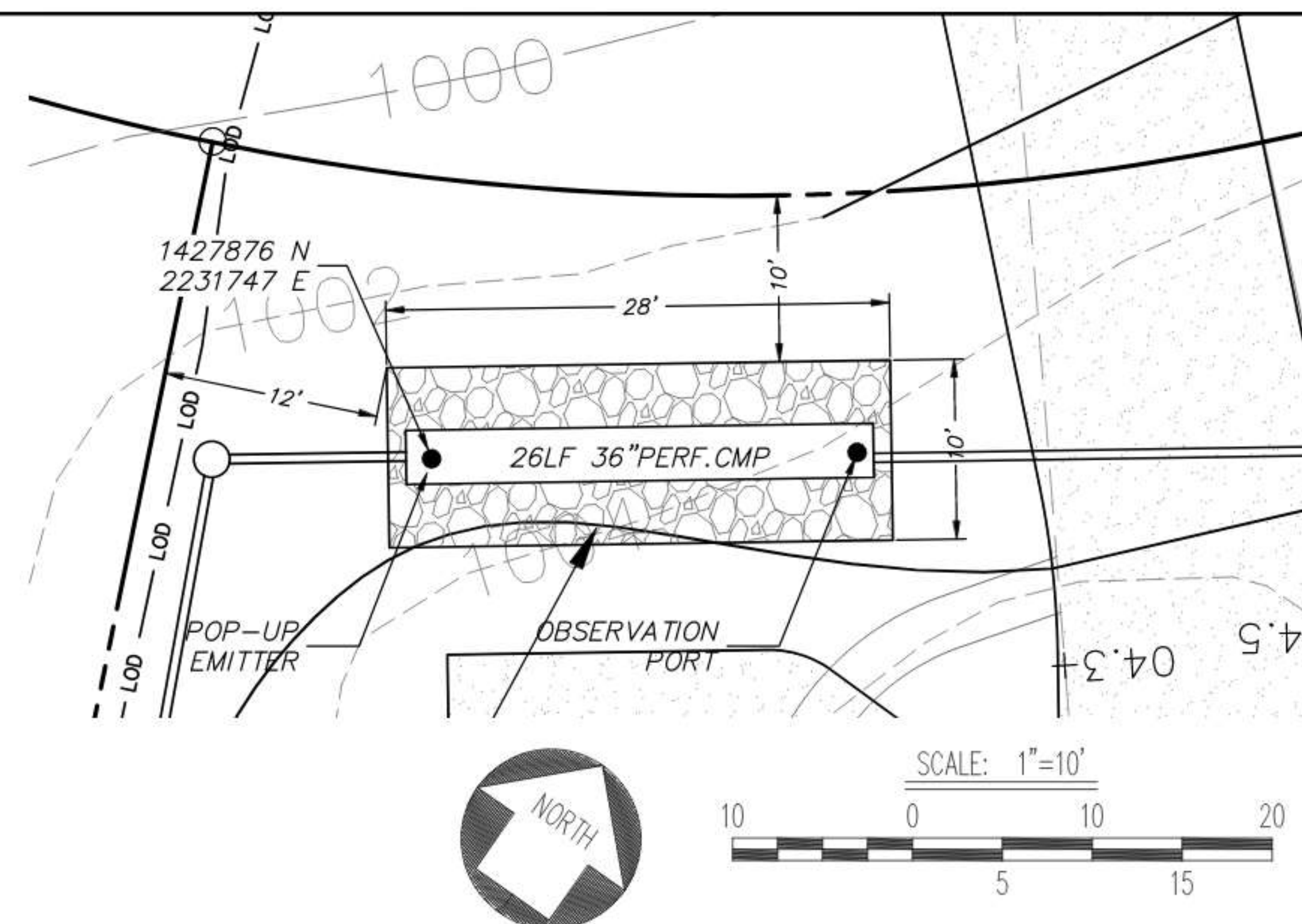
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| DRIVEWAY | 771 | SFT |
| SIDEWALKS | 206 | SFT |
| POOL & POOL DECK | 1,634 | SFT |
| WALLS | 116 | SFT |
| TOTAL | 5,420 | SFT |

IMPERVIOUS AREA = 5,420 SF
RRv REQUIRED = 1.2"
RRv CALCULATIONS: $5,420 \times 1.2/12 = 542$ CF REQ'D

SCANNED INFILTRATION TEST



TYPICAL
INFILTRATION DRY-WELL DETAIL
NO SCALE



24-HOUR CONTACT:
JOE WRIGHT
770-555-0707

| | |
|-----------------------|----------------|
| SCALE: AS SHOWN | |
| DATE JULY 27, 2021 | |
| DRAWN JGA | CHECKED JGA |

SHEET TITLE:

STORMWATER MANAGEMENT PLAN

C-3.1

1988 LETELLIER WAY
LOT 1 - CITADEL COVE SUBDIVISION
PARCEL 19 88 00 059
LAND LOT 88 - 19th DISTRICT
CITY OF SANDY SPRINGS
FULTON COUNTY, GEORGIA

FROM THE POINT
ENGINEERS, LLC
P.O. Box 1556
Loganville, Georgia 30052
Phone: 770-713-6186
email: pointshot@ftpeng.co

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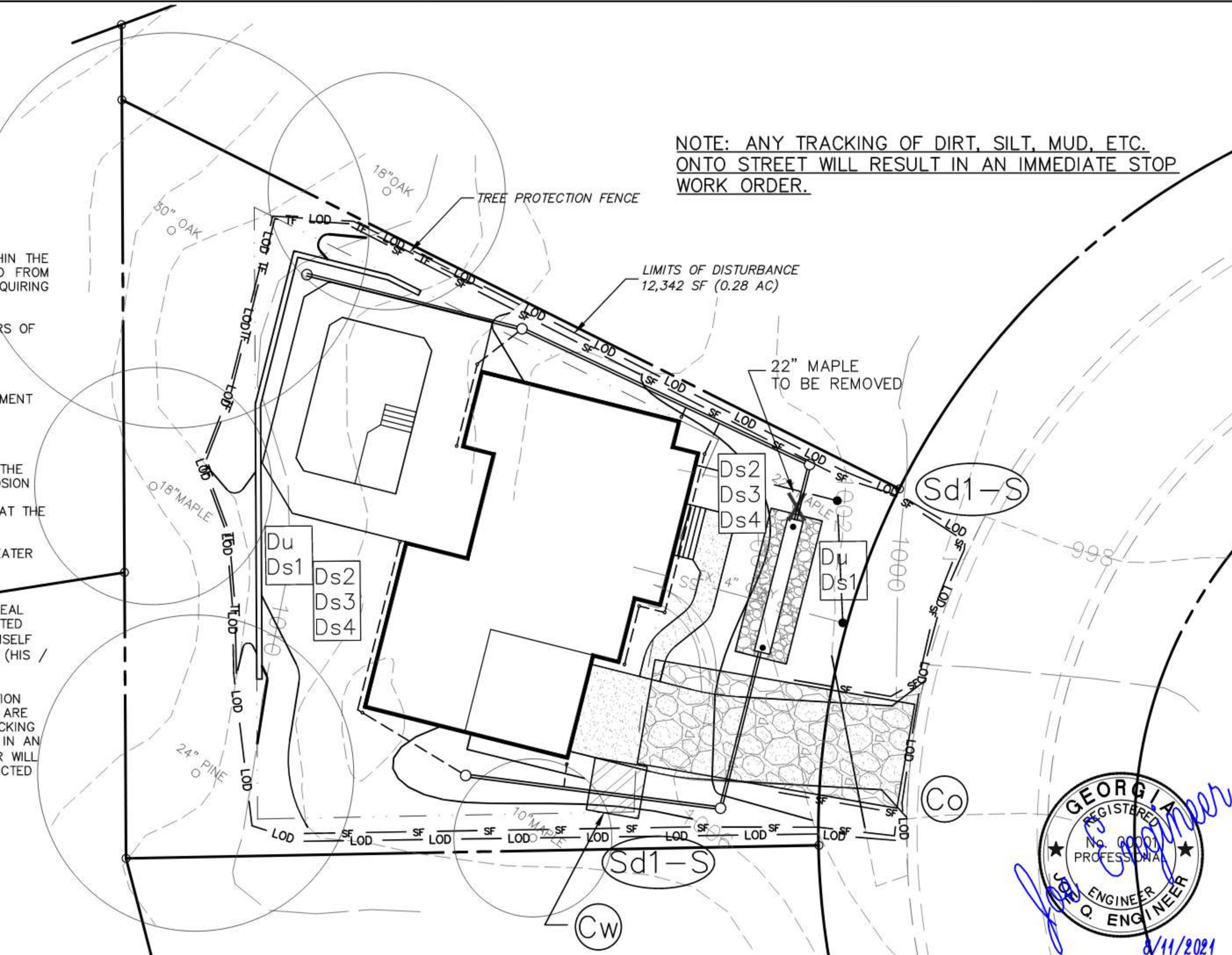
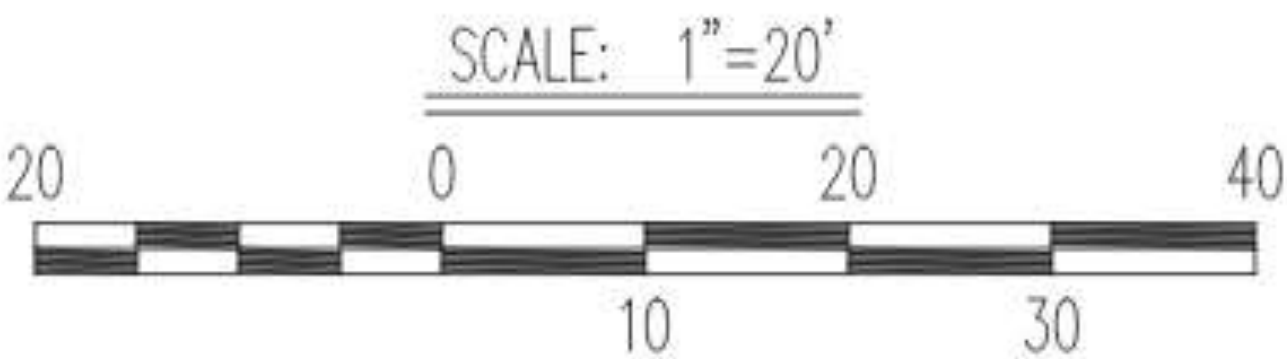
Table with 2 columns: Feature, Area (SFT). Rows include HOUSE (2,693), DRIVEWAY (771), SIDEWALKS (206), POOL & POOL DECK (1,634), WALLS (116), and TOTAL (5,420).

LOT COVERAGE = 36.6%
ALLOWABLE LOT COVERAGE = 38%

EROSION CONTROL NOTES:

- 1. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- 1. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- 2. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- 3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- 4. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- 5. THE DESIGN PROFESSIONAL WHOSE SIGNED AND DATED SEAL APPEARS HEREON, AFFIRMS THAT THE SITE WAS VISITED PRIOR TO THE PREPARATION OF THIS SITE PLAN BY (HIMSELF / HERSELF) OR (HIS / HER) AUTHORIZED AGENT UNDER (HIS / HER) SUPERVISION.
- 6. THE EXISTING DRIVEWAY MAY BE USED AS A CONSTRUCTION EXIT PROVIDED THAT ALL CONSTRUCTION VEHICLES ARE CONFINED TO EXISTING PAVED AREAS ON SITE. ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO STREET WILL RESULT IN AN IMMEDIATE 'STOP WORK' ORDER. THE 'STOP WORK' ORDER WILL NOT BE LIFTED UNTIL A CONSTRUCTION EXIT IS CONSTRUCTED IN ACCORDANCE WITH THE CURRENT DETAIL.

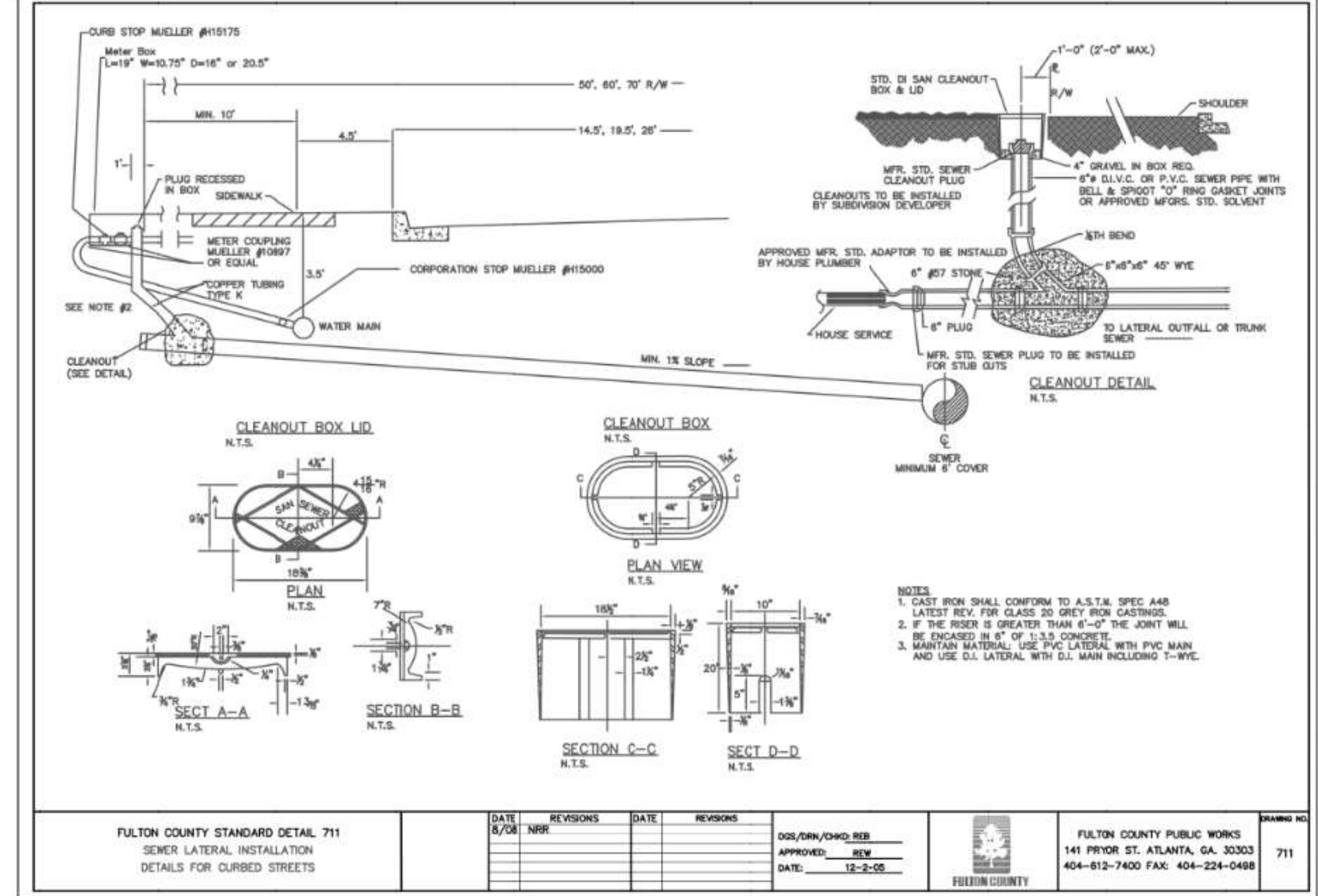
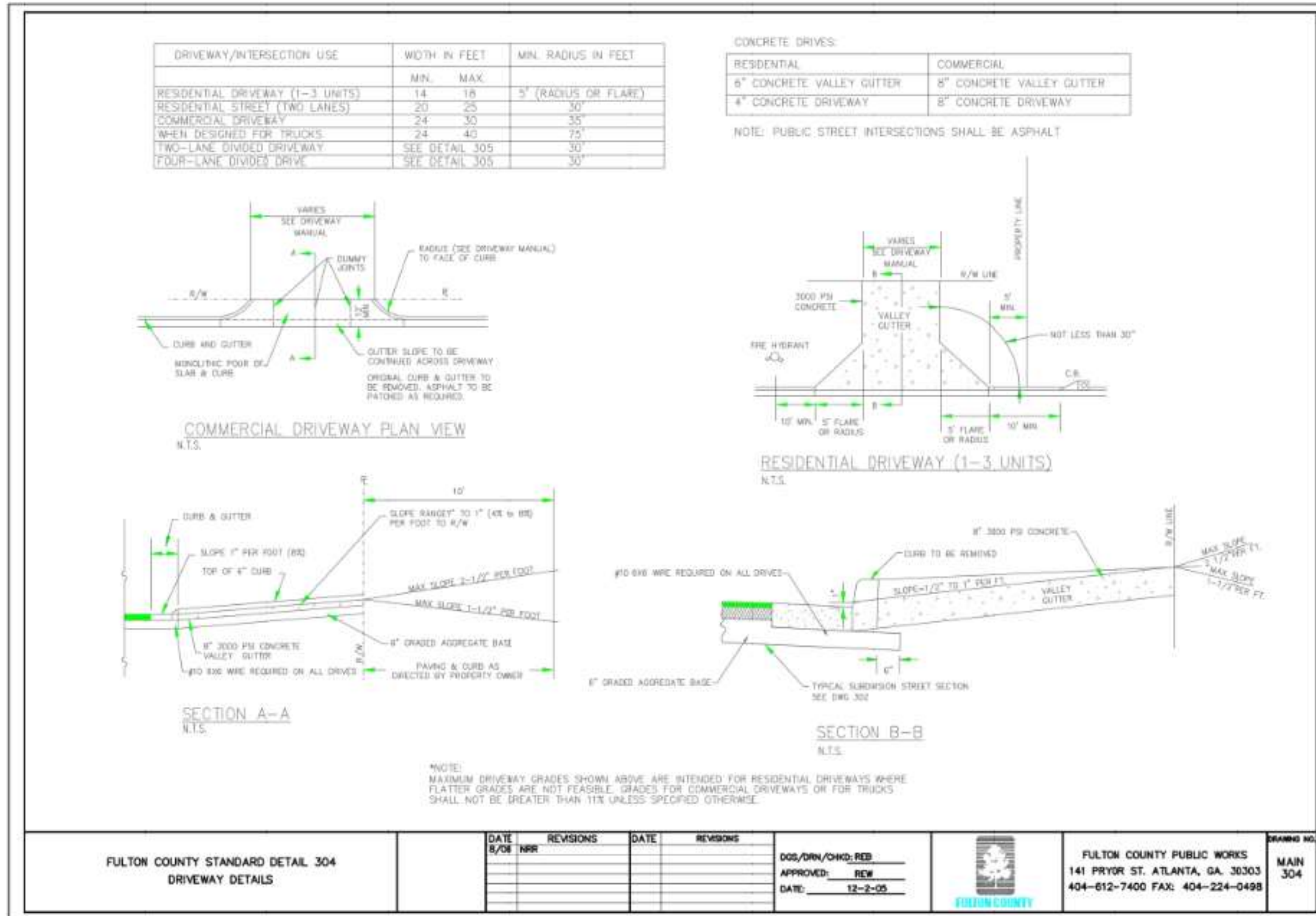
24-HOUR CONTACT:
JOE WRIGHT
770-555-0707



NOTE: ANY TRACKING OF DIRT, SILT, MUD, ETC. ONTO STREET WILL RESULT IN AN IMMEDIATE STOP WORK ORDER.



| | | | | | | | |
|-----------------------|--|--|---|--|-----|---------|---------------|
| SCALE: AS SHOWN | | SHEET TITLE: <div>EROSION AND SEDIMENTATION CONTROL PLAN</div> C-4 | 1988 LETELLIER WAY LOT 1 - CITADEL COVE SUBDIVISION PARCEL 19 88 00 059 LAND LOT 88 - 19th DISTRICT CITY OF SANDY SPRINGS FULTON COUNTY, GEORGIA | FROM THE POINT ENGINEERS, LLC P.O. Box 1556 Loganville, Georgia 30052 Phone: 770-713-6186 email: pointshot@tpeng.co | REV | DATE | DESCRIPTION |
| DATE JULY 27, 2021 | | | | | 0.1 | 7/27/21 | CITY COMMENTS |
| DRAWN JGA | | | | | 0.2 | 8/10/21 | CITY COMMENTS |
| CHECKED JGA | | | | | | | |
| | | | | | | | |



CONSTRUCTION HOURS:
7:00 AM - 7:00 PM MON-FRI
9:00 AM - 5:00 PM SAT

24-HOUR CONTACT:
JOE WRIGHT
770-555-0707

SCALE: AS SHOWN

DATE
JULY 27, 2021

DRAWN
JGA

CHECKED
JGA

SHEET TITLE:

**CONSTRUCTION
DETAILS**

C-5

1988 LETELLIER WAY
LOT 1 - CITADEL COVE SUBDIVISION
PARCEL 19 88 00 059
LAND LOT 88 - 19th DISTRICT
CITY OF SANDY SPRINGS
FULTON COUNTY, GEORGIA

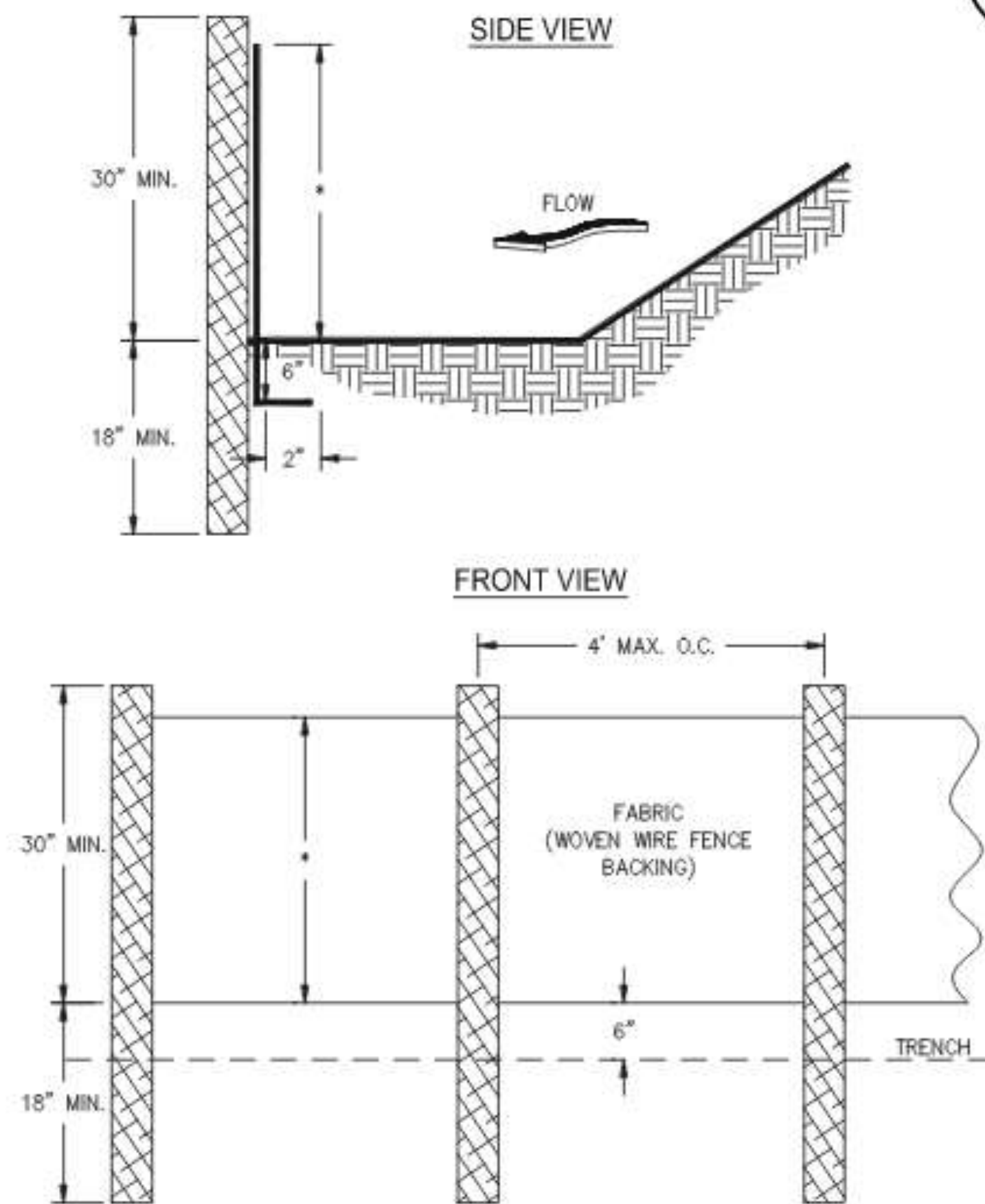
FROM THE POINT
ENGINEERS, LLC
P.O. Box 1556
Loganville, Georgia 30052
Phone: 770-713-6186
email: pointshot@ftpeng.co

| REV | DATE | DESCRIPTION |
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| 0.1 | 7/27/21 | CITY COMMENTS |
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SILT FENCE - TYPE SENSITIVE

Sd1-S

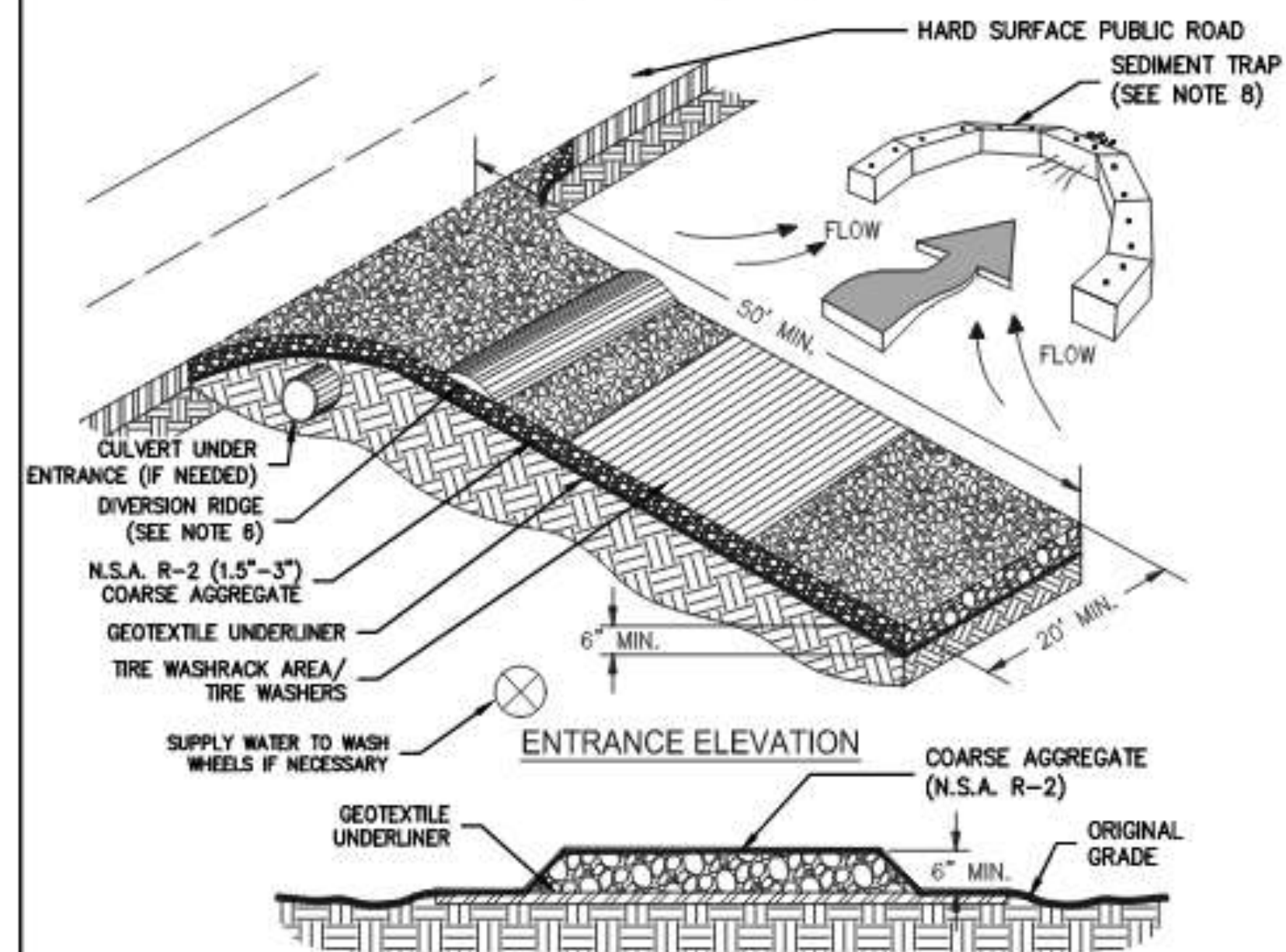


NOTES:

1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
2. HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

CRUSHED STONE CONSTRUCTION EXIT

EXIT DIAGRAM

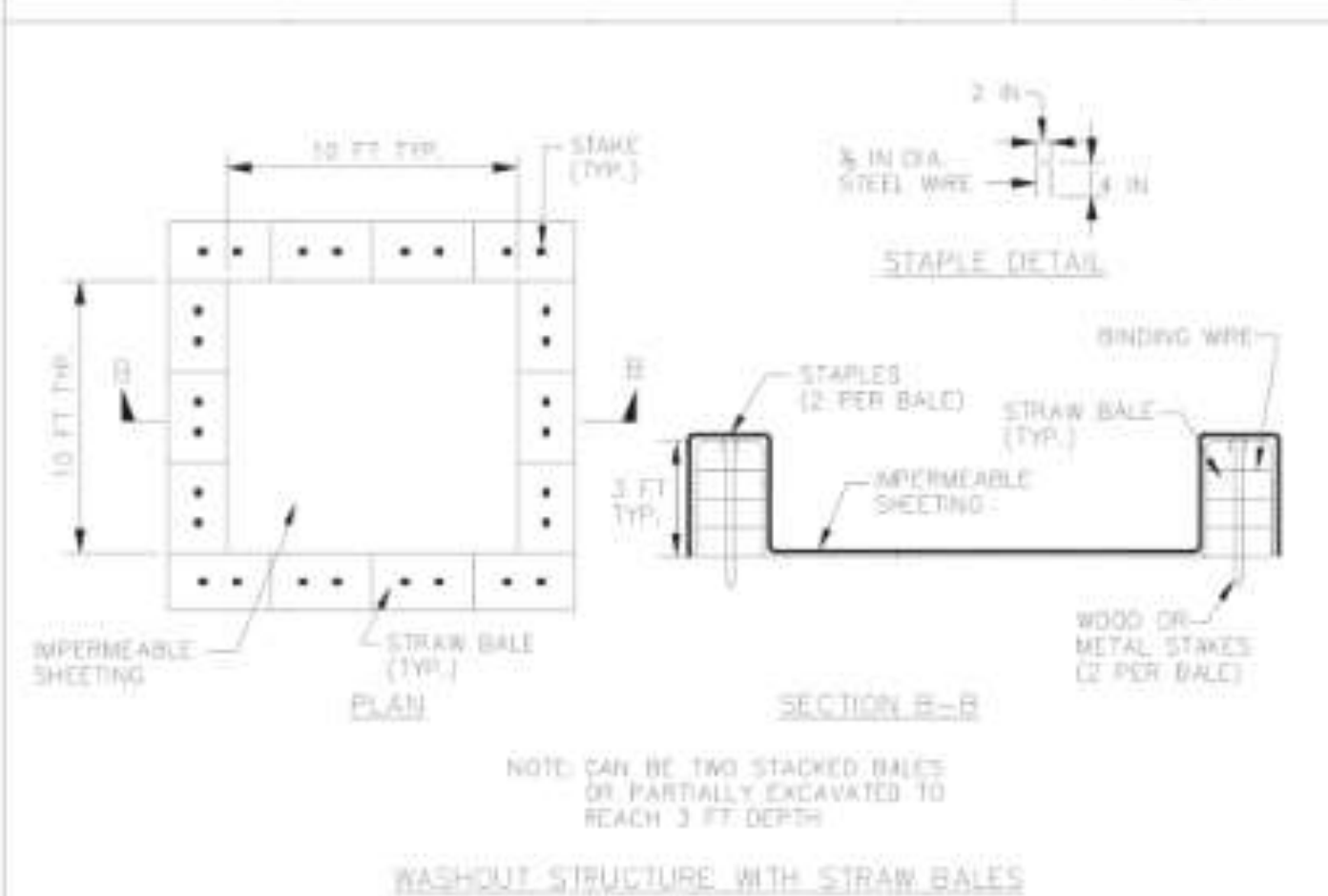


NOTES:

1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

CONCRETE WASHOUT STRUCTURE

Cw



CONSTRUCTION SPECIFICATIONS

1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN, PAVED, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4-INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE: 10 FEET X 10 FEET X 3 FEET DEEP.
3. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
4. PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
5. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. NET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

Table 1. Mulching Application Requirements

| Material | Rate | Depth |
|--|------------------------------------|----------|
| Straw or hay | - | 2" to 4" |
| Wood waste, chips, sawdust, bark | - | 2" to 3" |
| Polyethylene film | Secure with soil, anchors, weights | - |
| Geotextiles, jute matting, netting, etc. | See manufacturer's recommendations | - |

MAINTENANCE

- The appropriate depth and 90% cover shall be maintained at all times.

DEFINITION

The establishment of temporary vegetative cover with fast growing seedlings for seasonal protection on disturbed or denuded areas.

CONDITIONS

Temporary grassing, instead of mulch, can be applied to rough graded areas that will be exposed for less than six months. Temporary vegetative measures should be coordinated with permanent measures to ensure economical and effective stabilization. Most types of temporary vegetation are used to see as companion crop until the permanent vegetation is established.

SEEDING RATES FOR TEMPORARY SEEDING

| SPECIES | RATE Per 1,000 sq. ft. | RATE Per Acre * | PLANTING DATED ** |
|------------------|------------------------|-----------------|-------------------|
| Rye | 3.5 pounds | 3 lbs. | 9/1-9/1 |
| Plygrass | 6.5 pounds | 40 lbs. | 9/15-4/1 |
| Annual Leavedrop | 6.5 pounds | 40 lbs. | 1/15-5/15 |
| Woolgrass | 6.5 pounds | 4 lbs. | 3/15-4/15 |
| Stolongrass | 1.4 pounds | 40 lbs. | 3/1-4/1 |
| Broomrape Millet | 6.5 pounds | 40 lbs. | 4/1-5/15 |
| Wheat | 6.5 pounds | 3 lbs. | 10/15-3/1 |

* Unusual site conditions may require heavier seeding rates
** Seeding dates may need to be altered to fit temporary vegetation and conditions.

Ds2

DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

SPECIFICATIONS

Grading and Shaping

Excessive water run-off shall be reduced by properly designed and installed erosion control practices such as closed drains, ditches, dikes, downpipes, sediment barriers and others.

No Shaping or Grading is Required if Slopes can be Stabilized by Hand-Seedbed Vegetation or if Hydraulic Seeding Equipment is to be Used.

Seedbed Preparation

When a hydraulic seeder is used, seedbed preparation is not required. When using conventional or handseeding, seedbed preparation is not required if the soil material is loose and not sealed by rainfall.

When soil has been sealed by rainfall or consists of smooth cut slopes, the soil shall be pitted, trenched or otherwise scarified to provide a place for seed to lodge and germinate.

Lime and Fertilizer

Agricultural lime is required unless and tests indicate otherwise. Apply agricultural lime at a rate determined by soil test for pH. Quick acting lime should be incorporated to modify pH during the germination period. No stimulants should also be considered when there is less than 3% organic matter in the soil. Graded areas require lime application. Soil must be tested to determine required amounts of fertilizer and nutrient events. Fertilizer should be applied before land preparation and incorporated with a disk, tillage, or other. On slopes too steep for, or too narrow for, equipment, fertilizer shall be hydraulically applied, preferably in the first pass with seed and some hydraulic mulch, then topped with the remaining required application rate.

Seeding

Select a grass or grass-legume mixture suitable to the area and season of the year. Seed shall be applied uniformly by hand, cyclone seeder, drill, outspread seeder, or hydraulic seeder (after including seed and fertilizer). Drill or outspread seeders should normally place seed one-quarter to one-half inch deep. Appropriate depth of planting is ten times the seed diameter. Seed should be "raked" lightly to cover seed with soil if seeded by hand.

Mulching

Temporary vegetation can, in most cases, be established without the use of mulch. Mulch without seeding should be considered for short term protection. Refer to Ds1 - Disturbed Area Stabilization (With Mulching Only).

Irrigation

During times of drought, water shall be applied at a rate not causing runoff and erosion. The soil shall be thoroughly wetted to depth that will insure germination of the seed. Subsequent applications should be made when needed.

SCALE: AS SHOWN

DATE
JULY 27, 2021

DRAWN
JGA

CHECKED
JGA

SHEET TITLE:

EROSION CONTROL
DETAILS

C-6

1988 LETELLIER WAY

LOT 1 - CITADEL COVE SUBDIVISION
PARCEL 19 88 00 059
LAND LOT 88 - 19th DISTRICT
CITY OF SANDY SPRINGS
FULTON COUNTY, GEORGIA

FROM THE POINT
ENGINEERS, LLC
P.O. Box 1556
Loganville, Georgia 30052
Phone: 770-713-6186
email: pointshot@ftpeng.co

| REV | DATE | DESCRIPTION |
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| 0.1 | 7/27/21 | CITY COMMENTS |
| 0.2 | 8/10/21 | CITY COMMENTS |
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| SCALE: AS SHOWN | |
| DATE JULY 27, 2021 | |
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SHEET C-7

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| TREE | IMPACT |
|-----------|--------|
| 30" OAK | 14.2% |
| 18" MAPLE | 16.9% |
| 24" PIND | 24.8% |
| 22" MPAL | 100% |

CANOPY REQUIREMENT

EXISTING CANOPY = 4,000SF

30" OAK
18' MAPLE
24" PINE

3 x 1,000 = 3,000 SFT EXIST. CANOPY TO REMAIN.

22" MAPLE TO BE REMOVED

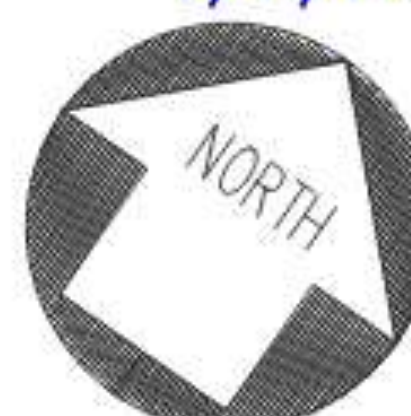
$$1 \times 1,000\text{SF} \times 1.5 = 1,500 \text{ SF TO BE REPLACED}$$
$$4,000 - 3,000 + 1,500 = 2,500 \text{ SF CANOPY REPLACEMENT REQUIRED}$$

(1) 3" OAK
(2) 3" MAGNOLIA

3 x 1,000 = 3,000SF CANOPY REPLACEMENT

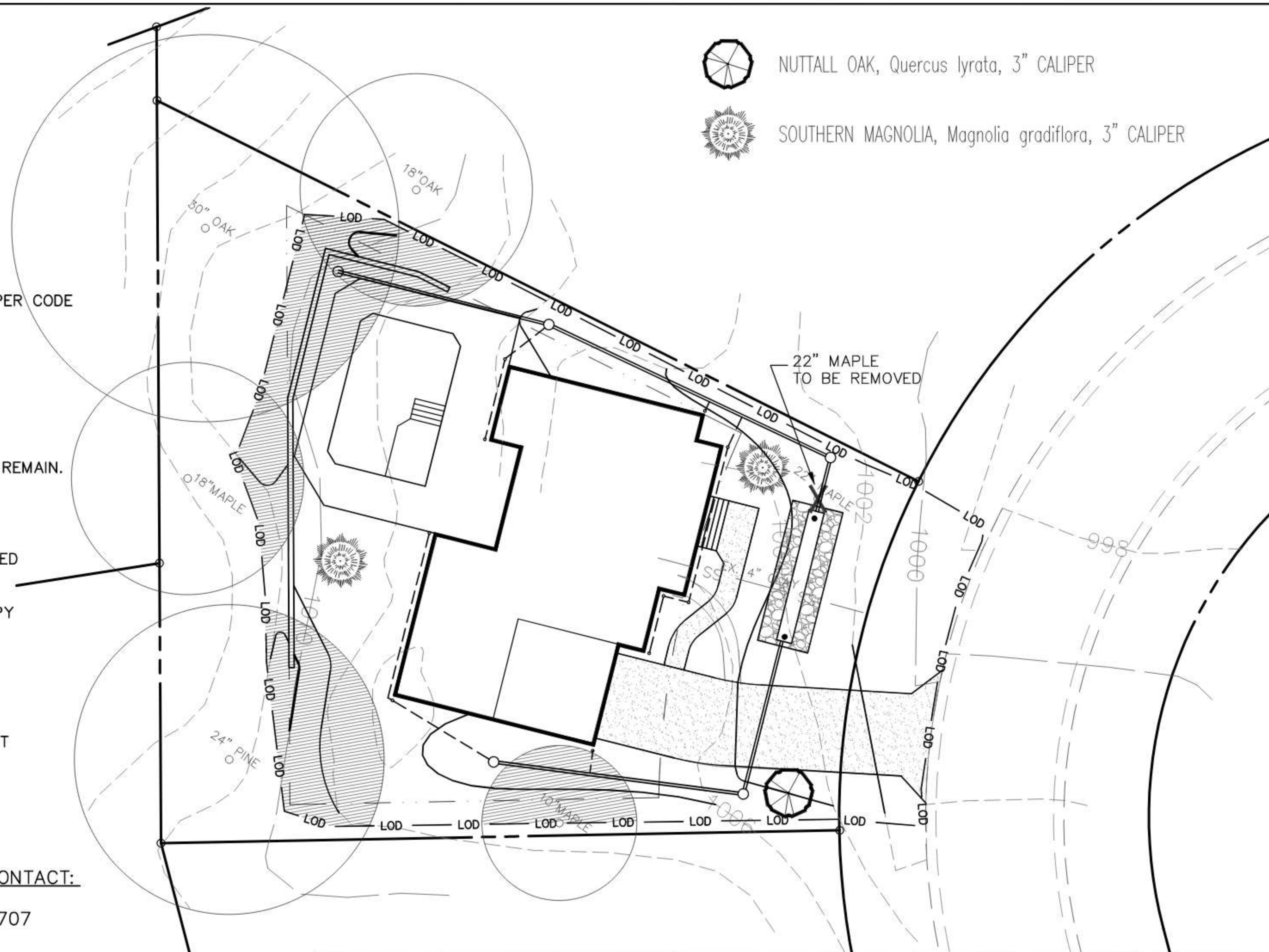
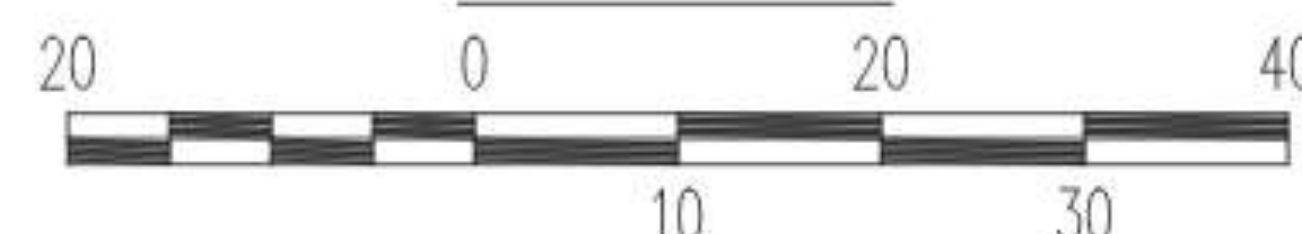


8/11/2021



24-HOUR CONTACT:
JOE WRIGHT
770-555-0707

SCALE: 1"=20'



NUTTALL OAK, *Quercus lyrata*, 3" CALIPER



SOUTHERN MAGNOLIA, *Magnolia grandiflora*, 3" CALIPER

SCALE: AS SHOWN

DATE
JULY 27, 2021

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TREE PRESERVATION
 & PROTECTION PLAN

C-8

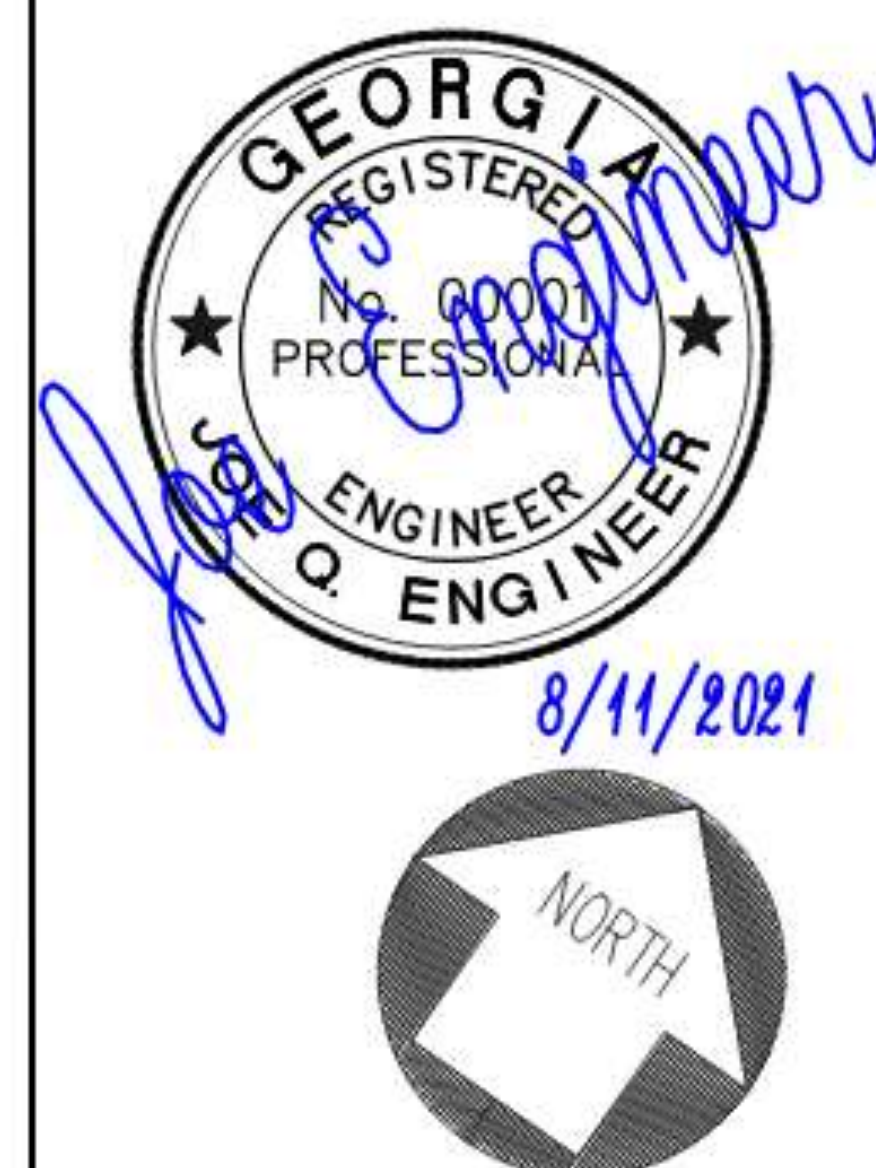
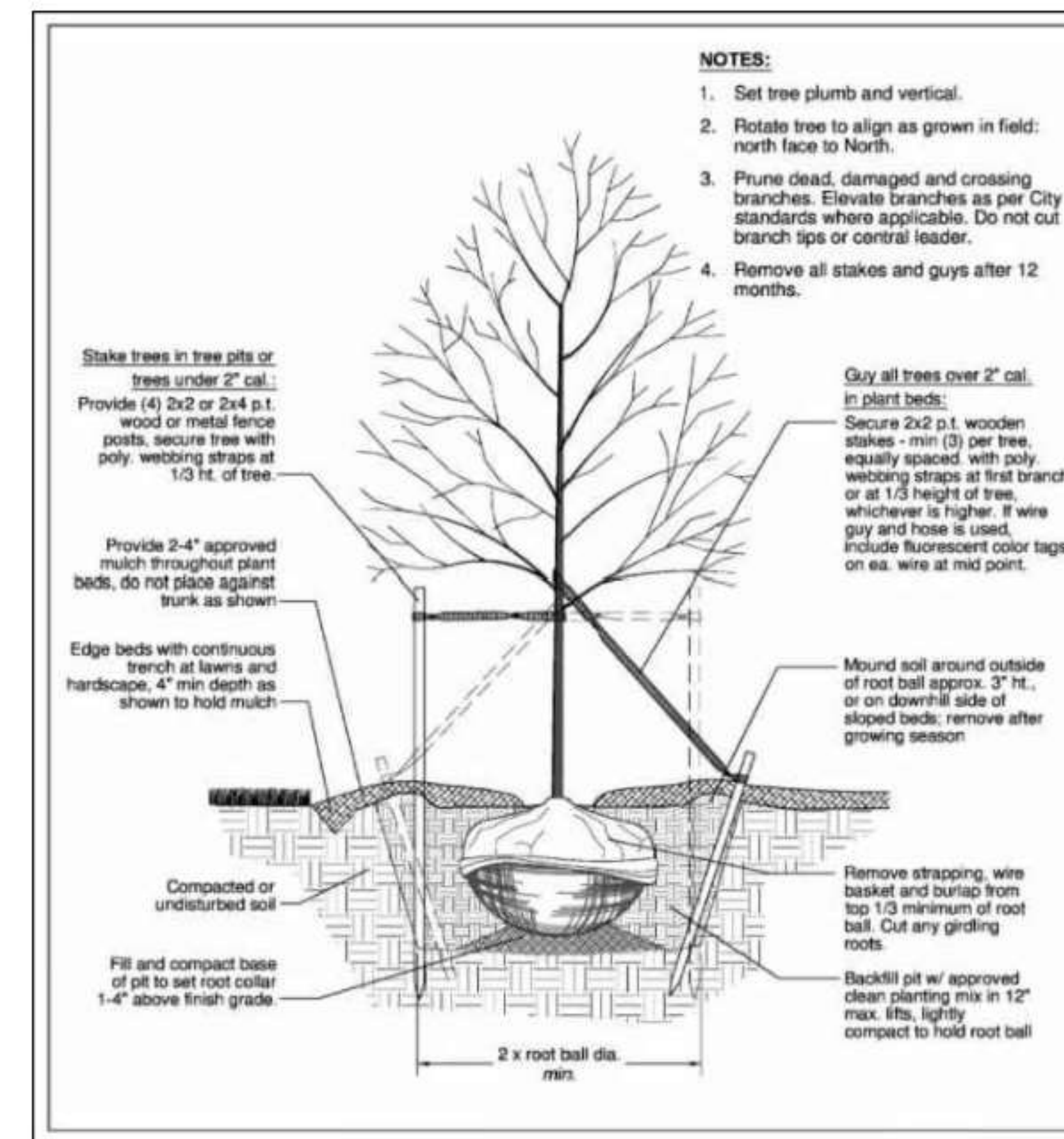
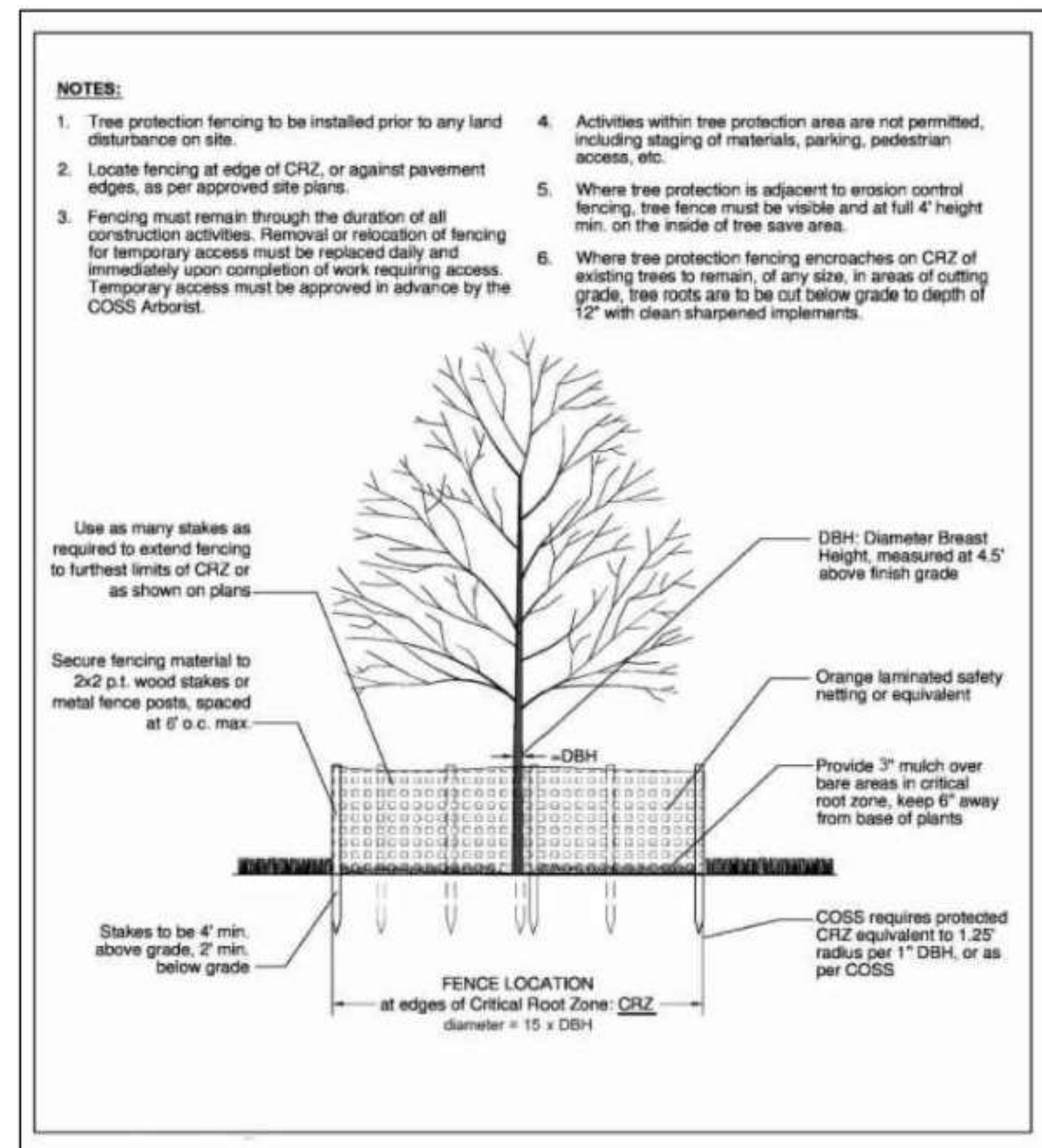
1988 LETELLIER WAY

LOT 1 - CITADEL COVE SUBDIVISION
PARCEL 19 88 00 059
LAND LOT 88 - 19th DISTRICT
CITY OF SANDY SPRINGS
FULTON COUNTY, GEORGIA

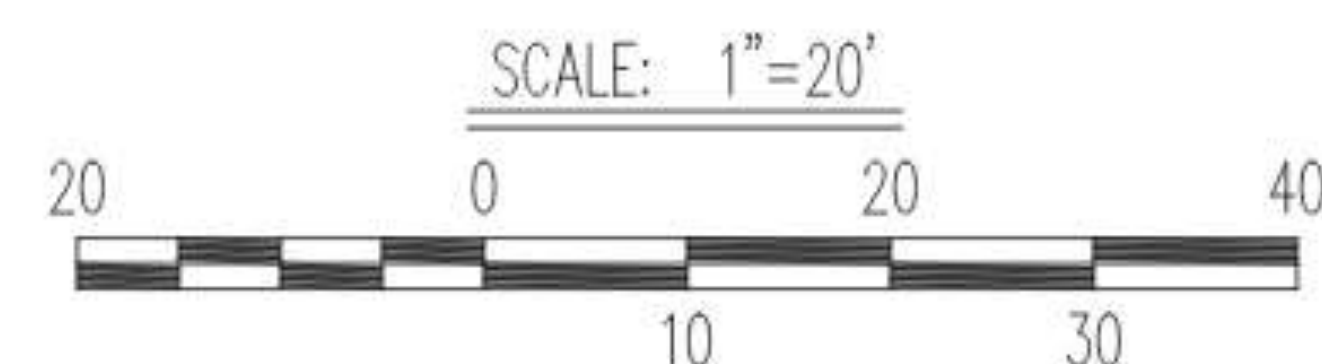
FROM THE POINT
ENGINEERS, LLC

P.O. Box 1556
Loganville, Georgia 30052
Phone: 770-713-6186
email: pointshot@ftpeng.co

[illegible]



24-HOUR CONTACT:
JOE WRIGHT
770-555-0707



| | | | | | | | | |
|-----------------------|----------------|--|---|--|--|-----|---------|---------------|
| SCALE: AS SHOWN | | SHEET TITLE: | | | | REV | DATE | DESCRIPTION |
| DATE JULY 27, 2021 | | TREE PRESERVATION & PROTECTION DETAILS C-9 | 1988 LETELLIER WAY LOT 1 - CITADEL COVE SUBDIVISION PARCEL 19 88 00 059 LAND LOT 88 - 19th DISTRICT CITY OF SANDY SPRINGS FULTON COUNTY, GEORGIA | FROM THE POINT ENGINEERS, LLC P.O. Box 1556 Loganville, Georgia 30052 Phone: 770-713-6186 email: pointshot@fpeng.co | | 0.1 | 7/27/21 | CITY COMMENTS |
| DRAWN JGA | CHECKED JGA | | | | | 0.2 | 8/10/21 | CITY COMMENTS |
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Green Infrastructure

City of Sandy Springs Green Infrastructure Manual

Single Unit Residences



Last update: January 2021

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| Appendix B: Recommended Plants | 35 |

Chapter 3

Dry Wells

Dry wells consist of seepage tanks set in the ground and, in metro Atlanta's clay soils, surrounded with stone designed to intercept and temporarily store stormwater runoff until it infiltrates into the soil. **Figure 8.** Alternately, a large diameter perforated standpipe filled chamber or pipe surrounded with stone can replace the tank.

Dry wells are particularly well suited to receive rooftop runoff entering the tank via an inlet grate at the ground level or directly from a gutter downspout connection. When properly sized and laid out, dry wells can provide significant reductions in stormwater runoff and pollutant loads.

For additional information, consult Section 4.7 Dry Wells of the GSMM Vol. 2.

Location Considerations

- Dry wells cannot be located:
 - Beneath an impervious (paved) surface;
 - Above an area with a water table or bedrock less than two feet below the trench bottom;
 - Over other utility lines; or
 - Above a septic field.
- Dry wells must be located at least 10 feet from building foundations, wall foundations, and property lines.
- Dry wells must be located in a lawn or other pervious (unpaved) area and should be designed so that the top of the dry well is located as close to the surface as possible.

Design Criteria

- Verify with the City if a permit is required.
- An infiltration test (see **Appendix A**) must be administered to determine that a dry well is a viable practice for the specific location. The preferred infiltration rate is 0.5 in/hr. If the rate is less than 0.5 in/hr, contact engineering staff to discuss alternate approaches and requirements. If the rate is less than 0.25 in/hr, this method cannot be used.
- The drainage area should not exceed 2,500 SF, and should have a maximum ground slope of 6% in the location where the well is installed.

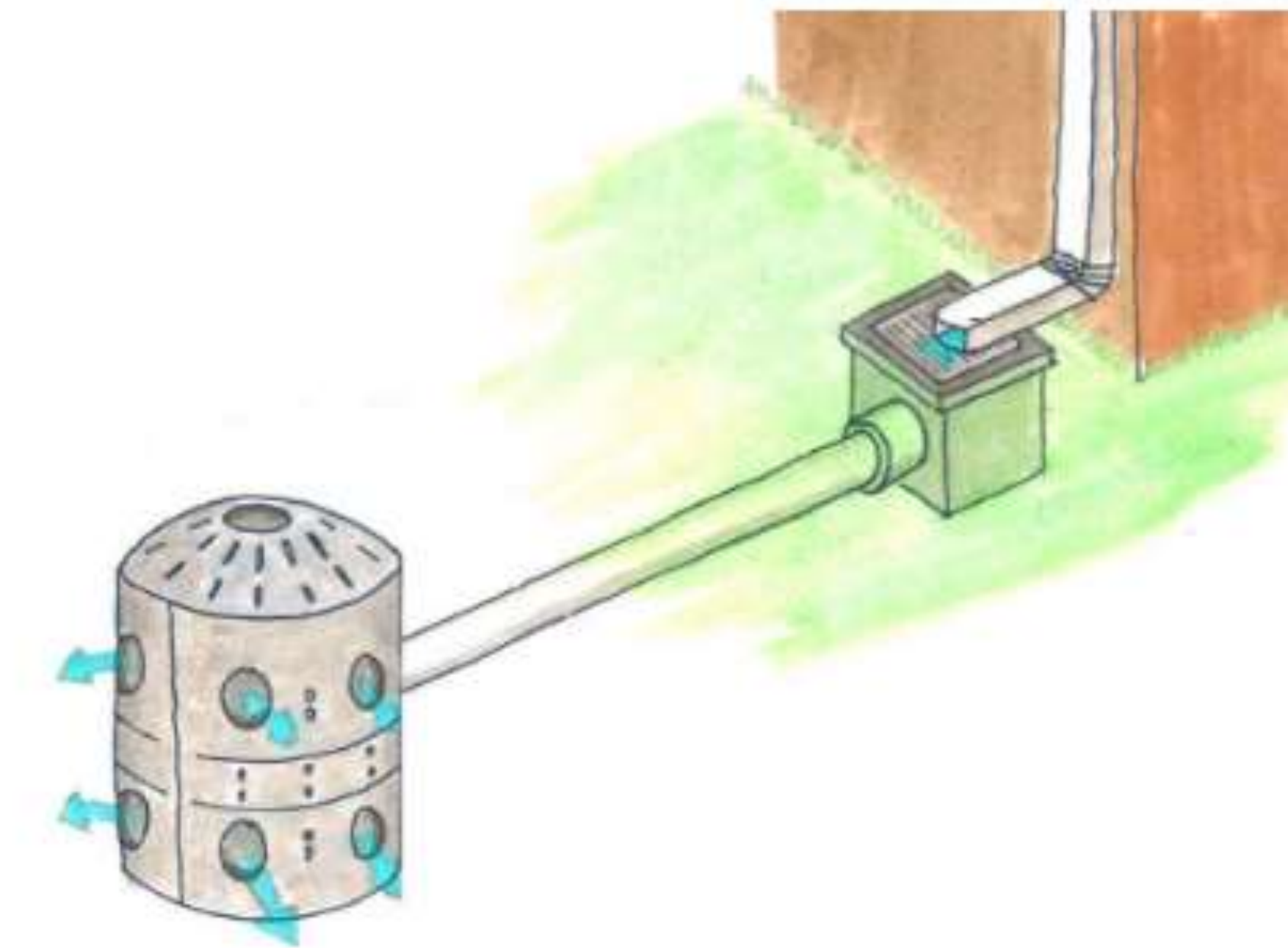


Figure 8 | Drywell system



Figure 9 | Leaf screen

Chapter 5

Rain Gardens

Rain gardens are small, landscaped depressions filled with a mix of native soil and compost and planted with trees, shrubs and other perennials. They are designed to temporarily store stormwater runoff from rooftops, driveways, patios and other impervious areas while reducing runoff rates and pollutant loads into local streams. A rain garden can be a beautiful and functional addition to the landscape. **Figure 18**

Location

- Rain gardens should be located to receive stormwater runoff from impervious surfaces.
- Swales, berms, or downspout extensions may be helpful to route runoff to the rain garden.
- Locate at least 10 feet from building foundations and retaining walls.
- Rain gardens cannot be located:
 - Within the public right-of-way;
 - Over other utility lines;
 - Above a septic field; or
 - At the edge of a steep slope.
- Rain gardens on steep slopes (>10%) may require an alternative design with terracing.

| Contributing Impervious Drainage Area (sq ft) | Depth of Amended Soil (in) | | | |
|---|----------------------------|-----|-----|-----|
| | 18 | 24 | 30 | 36 |
| Required Area of Rain Garden (sq ft) | | | | |
| 100 | 9.1 | 7.7 | 6.7 | 5.9 |
| 250 | 23 | 19 | 17 | 15 |
| 500 | 45 | 38 | 33 | 29 |
| 1000 | 91 | 77 | 67 | 59 |
| 1500 | 136 | 115 | 100 | 88 |
| 2000 | 182 | 154 | 133 | 118 |
| 2500 | 227 | 192 | 167 | 147 |



Figure 18 | Rain garden (City of Atlanta)

Chapter 7

Permeable Pavers

Permeable pavers are an alternative to traditional paving surfaces that can decrease stormwater runoff around your home. They are well suited for constructing sidewalks, parking areas, patios, and driveways.

Permeable pavers consist of interlocking or grid concrete pavers and a drainage layer. A permeable paver system allows stormwater runoff to pass in between the pavers and into an underlying stone reservoir, where it is temporarily stored and allowed to infiltrate into the underlying soils. Permeable pavers can provide significant reductions in, and pollutant loads conveyed to streams by stormwater runoff. However, they are not considered an effective infiltration practice and cannot be used to reach the volume reduction required by Code. **Figure 26**

Location

- Permeable paver systems should be located at least 5 feet from building foundations and 10 feet from buildings with basements.
- Permeable pavers should not be located:
 - above an area with a water table or bedrock less than two feet below the gravel bottom;
 - over other utility lines; or
 - above a septic field.
- Drainage from other areas onto the pavers will eventually clog them and is not allowed.
- Permeable paver systems must be installed on slopes less than 5% to help ensure even distribution of the runoff over the infiltration surface and should slope away from structures.
- The subgrade of the permeable pavement surface must not slope at no greater than 1%

Design Considerations

- The desirable soil infiltration rate suitable for a paver system is 0.50 inches per hour (in/hr) or greater.
- Permeable paver systems require multiple layers. Manufacturer's instructions, if they exist, should be followed in lieu of these guidelines.
- The top course consists of the pavers and a crushed aggregate material swept between



Figure 26 | Permeable pavers (City of Atlanta)

Typical Components of Permeable Pavers

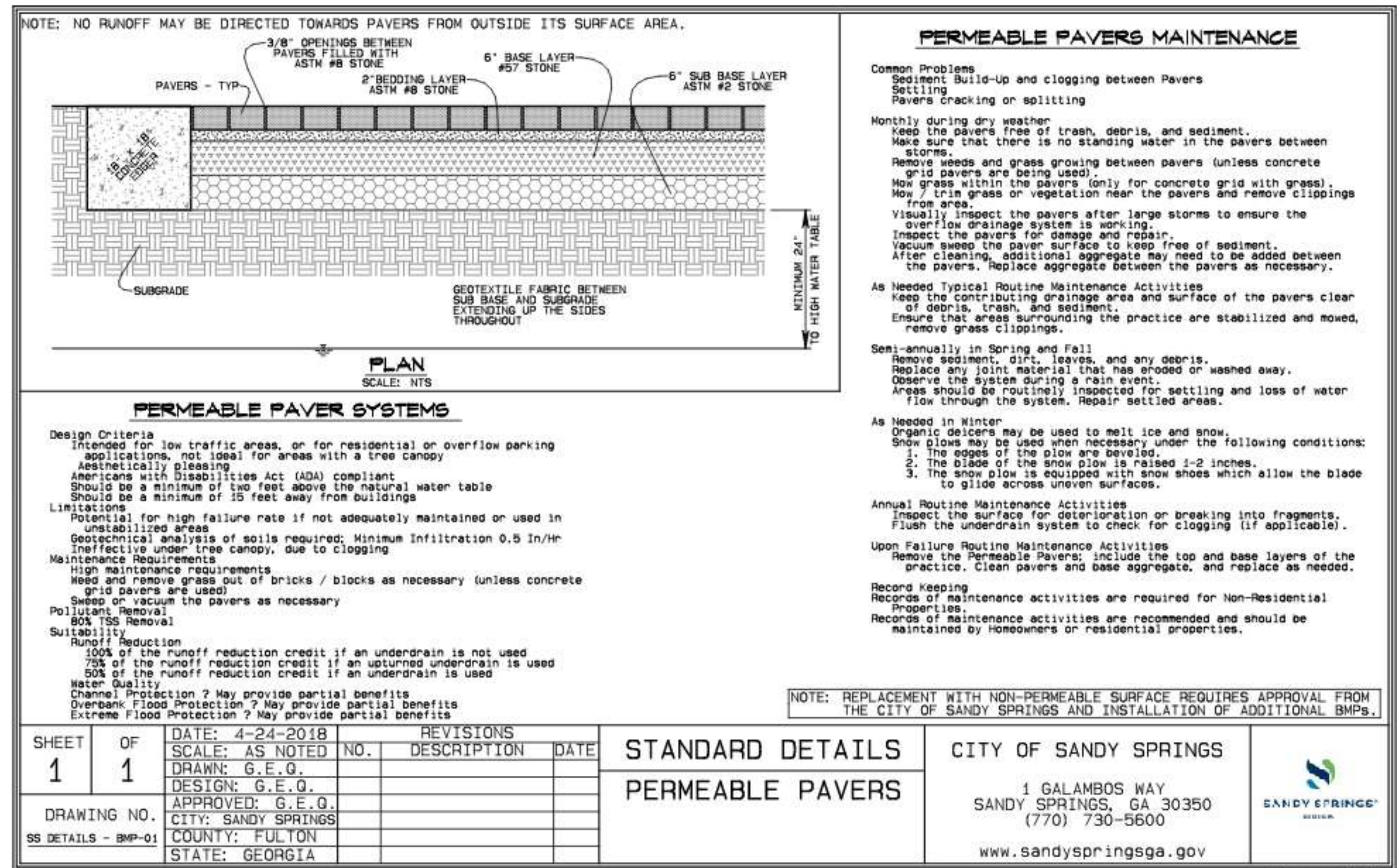


Figure 28 | Permeable Pavers Std Detail (City of Sandy Springs)

As-Built Drawing

As-Built Drawing Requirements

- As-Built Drawings shall be submitted via email to: asbuilts@sandyspringsga.gov
 - They are uploaded into the permit file and assigned for review
 - The reviews are completed within 3 business days of submittal
 - Comments/deficiencies will be sent via email to all contacts within the permit
- As-Built Drawings must match the approved site plans
 - No new work or significant deviations from the approved construction documents should be discovered in the as-built drawing.
 - Deviations will require a plan revision with updated calculations and will incur a \$200 resubmittal fee.
- As-built approval is required prior to issuance of Certificate of Occupancy/Completion.
- As-built drawings must include the following:
 - The updated as-built Lot Coverage Calculations
 - The updated Tree Canopy calculations
 - **Dimensions from all “pinch points” to the property line to verify placement**

Certificate of Completion

Certificate of Completion

- The permittee must email an electronic PDF file of the completed Request for Certificate of Completion (CC) application to the City at: CO@sandyspringsga.gov
- Before a CC can be issued, the following items must be completed:
 - Pass the Final Building/Pool/Retaining Wall Inspection
 - Pass the Final Site Inspection
 - Pass the Final Zoning Inspection (if applicable)
 - All maintenance agreements must be signed
 - As-built Drawings must be approved by the City
 - All outstanding invoices must be paid
 - **Submit any outstanding contractor's affidavits**

Certificate of Completion



SANDY SPRINGS™
GEORGIA

| | | | |
|------------------|---|-----------------------------|---|
| Permit Numbers: | POOL21-00999 | Building Code: | 2018 International Swimming Pool & Spa Code |
| Project Address: | 1 Galambos Way Sandy Springs, GA 30328 | Automatic Sprinkler System: | No |
| Description: | Residential Pool | Special Conditions: | None |
| Owner: | City of Sandy Springs | | |
| Owner Address: | 1 Galambos Way Sandy Springs, GA 30328 | | |

This Certificate of Completion certifies that at the time of issuance, the permitted construction was inspected for compliance with the various building codes, or their intent, as enforced and adopted by the City of Sandy Springs, Georgia at the time the permit was issued.


Jonathan Livingston, Building Official

05/26/21
Date

1 GALAMBOS WAY, SANDY SPRINGS, FULTON COUNTY, GEORGIA 30328

Future Seminar Topics

Future Seminar Topics

- Wednesday, September 1, 2021: How to Pass Your Inspections the First Time
- Wednesday, September 22, 2021: Proper Wood Connector Design and Installation
- Wednesday, October 20, 2021: Citizen Self Service (CSS) – Your Gateway to Online Permitting
- Wednesday, November 17, 2021: City Stormwater Management & Tree Ordinance Requirements



Questions



Survey