

Commercial Tenant Do's & Don'ts

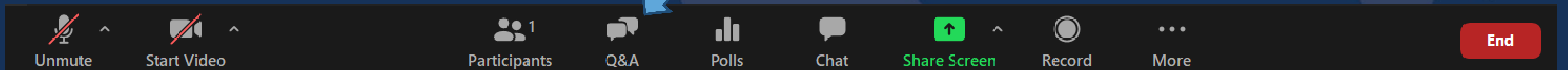


SANDY SPRINGS™
GEORGIA

April 25, 2023

Webinar Logistics

- All online attendees will be muted during this presentation
- If you would like to ask a question:
 - In-Person: Raise your hand
 - Online: Click on the Q&A button located at the bottom of the screen to ask and view other people's questions. You will also be able to upvote other people's questions.
- We will be monitoring the online questions and responding to them throughout the seminar.



Commercial Tenant Do's & Don'ts

1. The Numbers

(Presented by Caroline Davis)

2. Permitting Requirements

(Presented by Gail Munoz)

3. New Tenant Occupancy Permits

(Presented by William Westbrook)

4. Interior Remodel Permits

(Presented by John Cheek)

5. EV Charger Permits

(Presented by Matthew Ansbach)

6. Sign Permits

(Presented by Jonathan Livingston)

7. Coworking Space Permits

(Presented by Jonathan Livingston)

8. Annual Fire Marshal Inspections

(Presented by William Westbrook)

9. Addressing / Change of Address

(Presented by Bridget Lawler)

10. Summary

(Presented by Gail Munoz)

THE NUMBERS

Community Profile

- **2nd** largest City in the metro area
- **110,000+** Residents
- **300+** Restaurants
- **11** Public Schools; **41** Area Private Schools
- **67%** w/ Bachelor's Degree or Higher
- **\$86,500** Median Household Income
- **22** Miles of Chattahoochee shoreline
- **950** Acres of Parkland



Business Profile

- **115,000+** Jobs Based in SS
- **17.4** Million SF of Class A Office
- **6** Million SF of Retail Space
- **5,000+** Active Businesses
- **6** Fortune 500 Headquarters
- Direct access to **I-285** and **GA-400**
- Situated between **I-75** and **I-85**
- **4** MARTA Rail Stations in Perimeter
- **12** MARTA Bus Routes; **4** GRTA Xpress Routes
- **30** Minutes by car to ATL Airport



Awards & Recognitions

- Winner of Yelp's Bizzie Award for "Most Customer-Friendly Town in America"
- Gold Certification from Atlanta Regional Commission Green Communities
- Our Perimeter Center business district is considered one of the largest Class A office markets within the Southeast, and 123,000+ workers are based in this business district.



Econ Dev Services

- Recruitment, Retention, & Redevelopment
- Location Search Assistance
- Incentive Program & Development Authority
- Data & Research
- Small Business Programming
- PCIDs & Perimeter Connects

Department Contact:

Caroline Davis

Economic Development Manager

caroline.davis@sandyspringsga.gov

(770)344-9085



PERMITTING REQUIREMENTS

Types of Commercial Permits

Accessory Structure

Any structures that are not attached to the primary building (dumpster enclosures, drive-thru kiosk, ATMs)

Additions and Alterations

This includes any vertical or horizontal expansion to an existing structure, or alteration to the existing exterior building envelope.

Communication Tower/ Antenna

Construction/Sales Trailer

Decks & Covered Porches

Demolition – Full/Partial

Demolition – Interior Only

Generator

Solar Panel

Interior Remodel

An Interior Remodel Permit is for alterations to the floorplan within a structure's existing footprint. This permit includes any changes to the framing, mechanical, electrical, plumbing, fire or life safety components.

New Commercial Building

New Tenant Occupancy

New tenants that are required to get a new Certificate of Occupancy and that are not making any floor plan changes.

Reconstruction

A Commercial Reconstruction Permit is for restoring a building to its original condition within its existing footprint. This includes fire damage or natural disaster. The new work must be compliant with current building codes.

Roofing

A Commercial Roofing Permit is required for all roof replacement projects.

Utility Reconnect

True Or False?

- A Certificate of Occupancy remains with the tenant space and transfers from one tenant to the next.
- Answer: **FALSE**
- Certificates of Occupancy are for a **SPECIFIC TENANT** in a **SPECIFIC SPACE**.



Yes Or No?

- If a new nail salon moves into a vacant nail salon space, does the new tenant need a new Certificate of Occupancy?
- Answer: **Yes**
- Certificates of Occupancy are for a **SPECIFIC TENANT**. When a tenant space is vacated, the previously issued Certificate of Occupancy is no longer valid.



Yes Or No?

- If a tenant is renting a commercial space “As is” and does not make any changes to the floor plan, do they need a new Certificate of Occupancy?
- Answer: **YES**
- Certificates of Occupancy are for a **SPECIFIC TENANT** in a **SPECIFIC SPACE**. You will still need to apply for a Commercial - New Tenant Occupancy permit in order to get a new CO.

NOW OPEN!
UNDER NEW OWNERSHIP

True or False?

- If an existing tenant expands their space into an adjacent vacant suite, their existing CO still applies.

- Answer: **FALSE**

- Certificates of Occupancy are for a **SPECIFIC TENANT** in a **SPECIFIC SPACE**. When a tenant expands into an adjacent space, the occupancy load increases, and the exit paths change. Locations of exit signs, fire sprinkler heads, etc. need to be reviewed. The number of toilet fixtures available to the occupants needs to be re-evaluated.

We are

EXPANDING

True or False?

- If a tenant is decreasing the size of their space, their existing CO still applies.
- Answer: **FALSE**
- When a tenant decreases the size of their space, the occupancy load changes, and exit paths may change. Locations of exit signs, fire sprinkler heads, etc. need to be reviewed. The number of toilet fixtures available to the occupants needs to be re-evaluated.



We're
Downsizing

How does a New Tenant obtain a Certificate of Occupancy? There are usually two options:

- **A. Interior Remodel Permit**
 - Always required if there is a change of use
 - Always required if the tenant is making changes to the Floor Plan
 - Or installing anything that affects the Exit Pathway(s)
- **B. New Tenant Occupancy Permit**
 - For tenants who are leasing a space "As-is."
 - May include fresh finishes such as paint and carpet.

When is a Permit NOT Required?

- Painting, papering, tiling, carpeting, cabinets, countertops, and similar finish work – provided that no electrical wiring or plumbing pipes are being altered.
- One-story detached accessory structures with less than 120 square feet of floor area.
- Nonfixed and movable fixtures, cases, racks, counters, and partitions not greater than 5 feet 9 inches in height.
- Replacement of light fixtures using existing wiring or electrical outlet cover plates.
- Removal and re-installation of water closets.

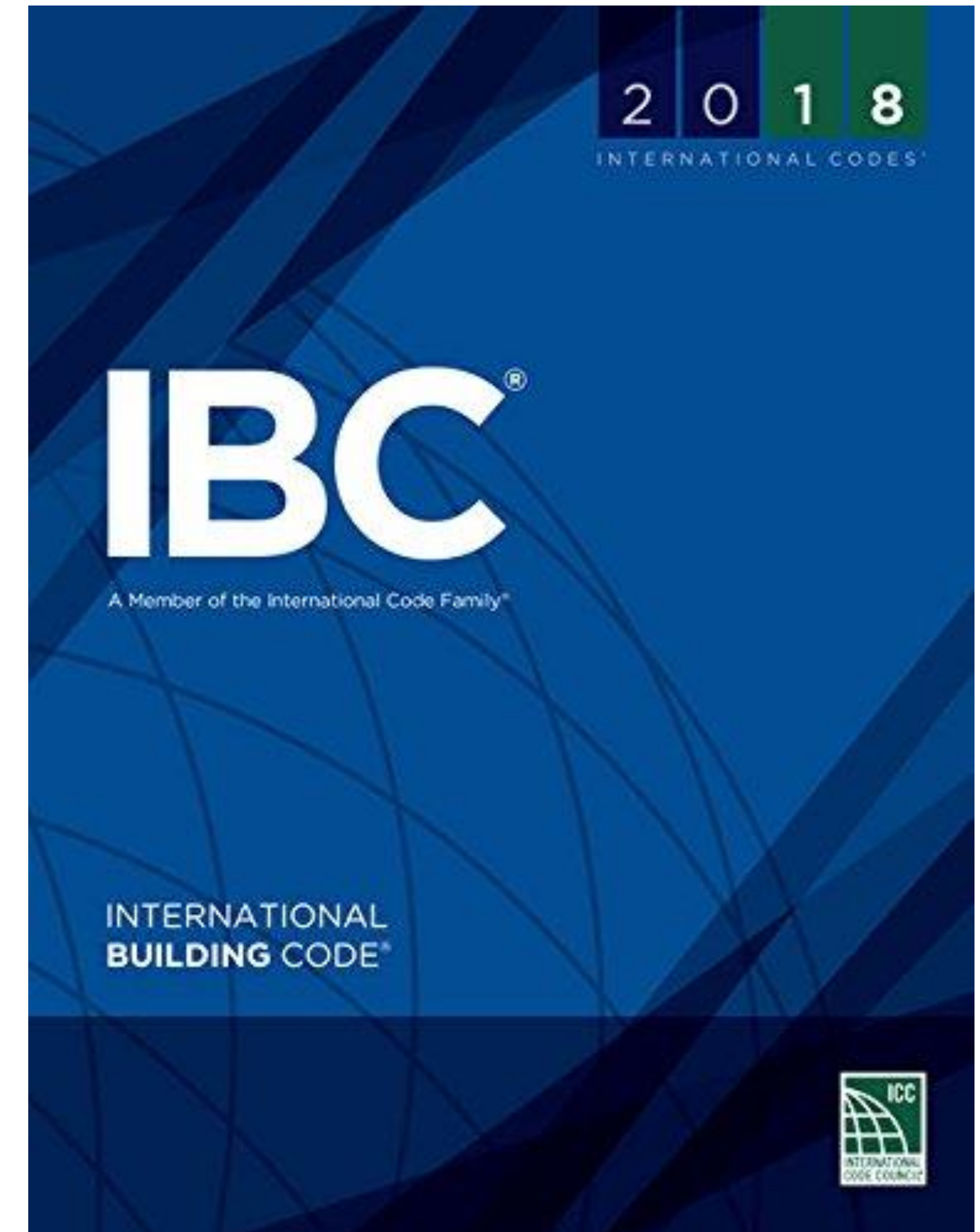
Why Does One Need a Permit?

- Obtaining a permit enables the contractor to request **inspections**.
- Having inspections ensures that the work is compliant with the International Building Code, Life Safety requirements, and the Americans with Disabilities Act.
- The goal of the International Building Code is to “provide a reasonable level of safety, public health, and general welfare” for the people who live, work, shop, and play in the City of Sandy Springs.
- Required in order to obtain a Certificate of Occupancy

What Are the Building Code Requirements?

- **The Building Code** adopted by the State of Georgia and all major cities in the state, including Sandy Springs, is the International Building Code (IBC)
 - We are currently enforcing the 2018 IBC

[A] 101.3 Intent. The purpose of this code is to establish the minimum requirements to provide a reasonable level of safety, public health and general welfare through structural strength, *means of egress* facilities, stability, sanitation, adequate light and ventilation, energy conservation, and safety to life and property from fire, explosion and other hazards, and to provide a reasonable level of safety to fire fighters and emergency responders during emergency operations.



Safety, Public Health, and General Welfare


- A new Certificate of Occupancy is required for the following conditions:
 - Existing Tenants:
 - Shrinking their space
 - Expanding their space into adjacent suites
 - Relocating to a new suite or building
 - New Tenants:
 - Always require a new CO

Certificate of Occupancy

Property Managers can assist their Tenants by providing basic information about the Building to them:

1. Name of the Legal Entity who owns the building
2. Address of the Legal Owner
3. Type of Construction
4. Is there a Fire Sprinkler System?

Certificate of Occupancy



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GEORGIA

Permit Number(s):	BC22-00022	Building Code:	2018 International Building Code
Project Address:	1234 Major Commercial Street, Suite 101 Sandy Springs, GA 30328	Use Group	Business
Description:	Tenant Name – Interior Build-out	Occupancy Classification	Business: B
Owner:	Legal Entity, LLC	Type of Construction	II-B
Owner Address:	456 Generic Commercial Street – Suite 500 Midwest City, State 00000	Automatic Sprinkler System:	Yes
Special Conditions:	None		
Occupancy Load	???		

This Certificate of Occupancy certifies that at the time of issuance, the permitted construction was inspected for compliance with the various building codes, or their intent, as enforced and adopted by the City of Sandy Springs, Georgia at the time the permit was issued.

_____	_____
Scott McColl, Fire Marshal	Date
_____	_____
Jonathan Livingston, Building Official	Date

1 GALAMBOS WAY, SANDY SPRINGS, FULTON COUNTY, GEORGIA 30328

Type of Construction?

- There are 5 different types of construction in the 2018 IBC:
 1. Type I: Non-combustible framing w/ structural framing protected with a 2-3 hour fire rating
 2. Type II: Non-combustible framing w/ structural framing protected with a 0-1 hour fire rating
 3. Type III: Exterior framing is non-combustible, interior and roof framing can be of any material permitted by code.
 4. Type IV: Heavy Timber Construction
 5. Type V: Any framing material

Type of Construction?

- The type of construction can be determined as follows:
 - Located on the original construction documents.
 - Consult with an architect to determine in the field.
 - Information may be located on previous tenant projects documents.

Example: The King and Queen are Type IA. The Springs shopping center located across the street is Type IIIA. Most single-family houses are Type VB.

Commercial Permit Application Process

Two Ways to Apply:

1. Online

2. In Person

The screenshot shows the homepage of the Sandy Springs Building Permit website. At the top left is the logo for Sandy Springs Community Development, featuring a stylized green and blue leaf icon, with the text "SANDY SPRINGS COMMUNITY DEVELOPMENT" below it. To the right of the logo is the text "BUILD SANDY SPRINGS". A dark navigation bar contains links for "Home", "Apply", "Today's Inspections", "Pay Invoices", "Search" (with a magnifying glass icon), and "Help" (with an external link icon). Below the navigation bar is a blue banner with white text: "If you need assistance scheduling inspections, please contact Kamaria George at 770-206-1424. For all other general permitting and portal questions, please call the main permitting phone line at 770-206-4397." The main content area has a light gray background and features a heading: "Welcome to the City's building permit website." Below this heading is a paragraph: "This site allows users to access all the City's building regulations, apply for a building or utility permit online, submit construction drawings for City review, pay invoices, schedule inspections, and more." Further down is another paragraph: "For other City information, please visit SandySpringsGA.gov." The bottom section contains six white cards with blue icons and text, arranged in two rows of three. The first row includes: "Login or Register" (with a user icon), "Apply" (with a document icon), and "Pay Invoice" (with a dollar sign icon). The second row includes: "Request Inspection" (with a calendar icon), "Request Certificate of Occupancy (CO, CC, TCO)" (with a building icon), and "Search Public Records" (with a magnifying glass icon).

SANDY SPRINGS
COMMUNITY DEVELOPMENT

BUILD SANDY SPRINGS

Home Apply Today's Inspections Pay Invoices Search Help

If you need assistance scheduling inspections, please contact Kamaria George at 770-206-1424.
For all other general permitting and portal questions, please call the main permitting phone line at 770-206-4397.

Welcome to the City's building permit website.

This site allows users to access all the City's building regulations, apply for a building or utility permit online, submit construction drawings for City review, pay invoices, schedule inspections, and more.


For other City information, please visit SandySpringsGA.gov.

- Login or Register**
Login into an existing account or create a new account. You can also find help here if you forgot your login information.
- Apply**
Use this tool to apply for a new permit, subdivision plat, variances and other zoning actions.
- Pay Invoice**
Click here to make a payment online via credit or debit card.
- Request Inspection**
Request an inspection for an existing permit. All inspections requested by 2:00pm will be scheduled for the next business day.
- Request Certificate of Occupancy (CO, CC, TCO)**
Please submit a request form under the Attachments tab of your permit page.
- Search Public Records**
This tool can be used to search for existing permits, plans, inspections, code cases, requests and licenses.

Commercial Permit Application Process

Components of an Application

- Be a Registered User of the **Build Sandy Springs** Portal
- Application Form
- Owner Affidavit
- Construction Documents (Plans & Specs)
- Supporting Documents (e.g., DOLA, Health, Grease Trap)



Building Permit Application

Residential Commercial Interior Dem

Location

Address of Job: **5600 Roswell Rd, Suite B100, Sandy Springs, GA 30342**

District-Land Lot-Parcel: **17 002600020010** Subdivision:**The Prado** Zoning: **SX-3**

Description of Work

Interior alteration for a new food service tenant. Scope includes new partitions, ceiling, doors, m/e equipment and HVAC distribution.

Previous use of space (i.e. white box, restaurant, office) **GameStop - mercantile**

Tenant/Project Name: **Clean Eatz**

Work includes: Mechanical Electrical Plumbing Low Voltage Sewage Disposal: Septic

Building Square Footage: _____ Affected Square Footage: **1927** Construction Cost: **\$200,0**

Land Owner of Record

Name: **The Prado LLC** Phone: **404-984-7584**

Address: **5600 Roswell Rd, Sandy Springs, GA 30342** E-mail: **d Hughes@centrecx**

Contractor (required prior to issuance) or Owner-Occupant (if no Contractor)

Name of Company: **1 Development Inc** Business License No.: **20222052**

Name of Qualifying Agent: **Paul O. Yum** Contractor License No.: _____

Address: **1782 Noblin Summit Court, Duluth, GA 30097** Phone: **678-713-935**

Contractor/Owner-Occupant E-mail: **p.yum.idevelopment@outlook.com**

Name of 24 Hour Contact: **Paul O. Yum** GSWCC Level 1A certification: _____

Email: **p.yum.idevelopment@outlook.com** Phone: _____

Applicant/Contact (if other than the Contractor)

Name: **Patti Wallis** E-mail: **pwallis@psi-atl-ga.us** Phone: **678-357-7439**

Signature

Owner or Authorized Agent: *[Signature]*

Compliance with the Noise Ordinance, Permit Box posting, Erosion Control and Subcontractor affidavits shall be submitted before beginning work. No occupancy until approved by the City.

City of Sandy Springs - 7840 Roswell Rd, Bldg 500 - Sandy Springs, GA 30350 - 770-438-5300

X:\CommunityDevelopment\Building and Development Division\Forms, Standards, Guidelines

Building Information

2023 City of Sandy Springs Code Requirements

Building: 2023 International Building Code (IBC), 2021 and 2021 Georgia Amendments
Fire Safety: 2023 International Building Code (IBC), 2021 and 2021 Georgia Amendments
Energy Code: 2023 International Energy Conservation Code (IECC), 2021 and 2021 Georgia Amendments
Mechanical: 2023 International Mechanical Code (IMC), 2021 and 2021 Georgia Amendments
Plumbing: 2023 International Plumbing Code (IPC), 2021 and 2021 Georgia Amendments
Electrical: 2023 National Electrical Code (NEC), 2021 and 2021 Georgia Amendments
Life Safety: 2023 International Life Safety Code (ILSC), 2021 and 2021 Georgia Amendments

Project Information

Project Description: Interior alteration for a new food service tenant. Scope includes new partitions, ceiling, doors, m/e equipment and HVAC distribution.

Project Details: 1927 sq ft

Building Permits and Classification per 2019 SPSS 101 - Section 11.1.1

Fee Schedule:

Plan Review Fee: \$100 per 100 sq ft of floor area up to 10,000 sq ft. \$10 per 100 sq ft thereafter.

Building Permit Fee: \$100 per 100 sq ft of floor area up to 10,000 sq ft. \$10 per 100 sq ft thereafter.

Final Inspection Fee: \$100 per 100 sq ft of floor area up to 10,000 sq ft. \$10 per 100 sq ft thereafter.

Other Fees: See City of Sandy Springs website for details.

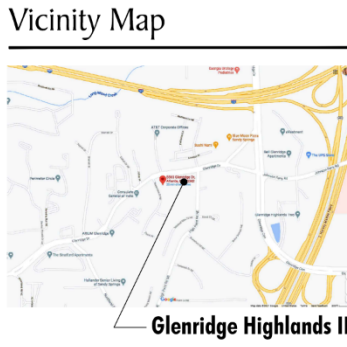
Notes of Special Responsibility

The applicant is responsible for obtaining all necessary permits and approvals from the appropriate agencies.

Table of Contents

- 1-1.1 Title Sheet & Life Safety Plan
- 1-1.2 General Notes
- 1-2 Demolition & Partitions Plans
- 1-3 Reflected Ceiling, Power/Communication & Finish Plans
- 1-4 Enlarged Restroom Plans
- 1-5 Details
- M-0.1 Mechanical Legend, Notes, Schedules, & Details
- M-1.10 Mechanical Floor Plans
- E-0.1 Electrical Legend & Notes
- E-0.2 Electrical Five Stoping Details - Electrical
- E-1.10 Partial 10th Floor Plan - Lighting
- P-0.1 Plumbing Legend, Notes, Schedules, & Details
- P-1.10 Plumbing Floor Plans

Vicinity Map



Sandy Springs Notes

The building plans are to be used in conjunction with the approved building code, standards, and specifications of the City of Sandy Springs.

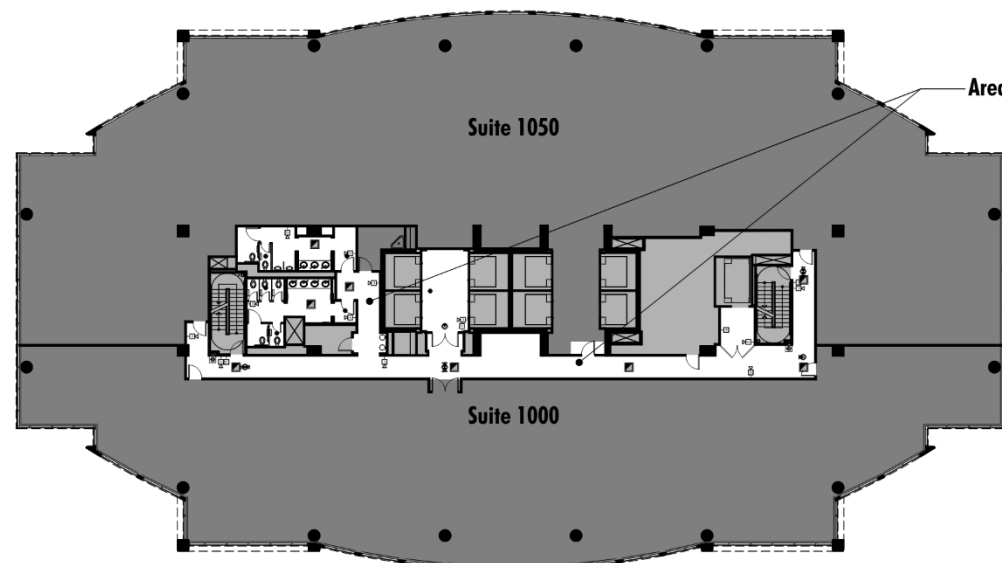
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The applicant is responsible for obtaining all necessary permits and approvals from the appropriate agencies.

10th Floor Common Area Renovation

Glenridge Highlands II
5565 Glenridge Connector
10th Floor
Sandy Springs, GA 30342

PERMITTED BUILDING PERMIT
04/19/2022



Key Plan / Life Safety Plan

Construction Document Approval

Name: _____ Date: _____

1-1.1

1 of 7

FULTON COUNTY
DEPARTMENT OF PUBLIC WORKS
COMMERCIAL PRETREATMENT SECTION
11575 MAXWELL ROAD, ALPHARETTA, GA 30009

COMMERCIAL WASTEWATER PERMIT # 4715

NOWAK'S SANDY SPRINGS
Company Name
is authorized to discharge wastewater from the commercial facility located at
6690 ROSWELL RD., SANDY SPRINGS, GA 30328

through a designated pretreatment system to Fulton County sanitary sewer system and wastewater plant operations in accordance with the county design standards, effluent limitations and maintenance frequencies as stated in the Sewer Use and Pretreatment Ordinance, Section 82-251.

Date Issued: **JULY 27, 2022** Expiration Date: **MARCH 31, 2023**

Issued by: *Rebba Desai, Commercial Pretreatment Manager*

The generator is responsible for renewing this permit **annually**. Failure to do so will result in a 25% penalty added to the permit fee.


DISPLAY FOR PUBLIC VIEW - NOT TRANSFERABLE

BC2.2-001B1
5565 Glenridge Connector, 10th Floor


Commercial Permit Application Process

1. Application Form

- a) Write Legibly or Type
- b) Be Clear and Detailed on Scope of Work
- c) Upload to the Attachments Folder
- d) Include Supporting Documents (*e.g.*, DOLA, Health, Grease Trap) with Application


SANDY SPRINGS
GEORGIA

Building Permit Application

<input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Interior Demolition		
Location		
Address of Job: <u>5600 Roswell Rd, Suite B100, Sandy Springs, GA 30342</u>		
District-Land Lot-Parcel: <u>17 002600020010</u> Subdivision: <u>The Prado</u> Zoning: <u>SX-3</u>		
Description of Work		
Interior alteration for a new food service tenant. Scope includes new partions, ceiling, doors, millwork, equipment and HVAC distribution.		
<input checked="" type="checkbox"/> Previous use of space (i.e. white box, restaurant, office) <u>GameStop - mercantile</u>		
Tenant/Project Name: <u>Clean Eatz</u>		
Work includes: <input checked="" type="checkbox"/> Mechanical <input checked="" type="checkbox"/> Electrical <input checked="" type="checkbox"/> Plumbing <input type="checkbox"/> Low Voltage Sewage Disposal: <input type="checkbox"/> Septic <input checked="" type="checkbox"/> Sewer		
Building Square Footage: _____ Affected Square Footage: <u>1927</u> Construction Cost: \$ <u>200,000</u>		
Land Owner of Record		
Name: <u>The Prado LLC</u>		Phone: <u>404-984-7584</u>
Address: <u>5600 Roswell Rd, Sandy Springs, GA 30342</u>		E-mail: <u>dhughes@centrecorp.com</u>
Contractor (required prior to issuance) or Owner-Occupant (if no Contractor)		
Name of Company: <u>1 Development Inc</u>		Business License No.: <u>2022205234</u>
Name of Qualifying Agent: <u>Paul O. Yum</u>		Contractor License No.: _____
Address: <u>1782 Noblin Summit Court, Duluth, GA 30097</u>		Phone: <u>678-713-9355</u>
Contractor/Owner-Occupant E-mail: <u>pyum.idevelopment@outlook.com</u>		
Name of 24 Hour Contact: <u>Paul O. Yum</u>		GSWCC Level 1A certification: _____
Email: <u>pyum.idevelopment@outlook.com</u>		Phone: _____
Applicant/Contact (if other than the Contractor)		
Name: <u>Patti Wallis</u>		E-mail: <u>pwallis@psi-atl-ga.us</u> Phone: <u>678-357-7439</u>
Signature		
Owner or Authorized Agent: <u></u>		Date: <u>05/09/2022</u>

Compliance with the Noise Ordinance, Permit Box posting, Erosion Control and all applicable regulations are enforced. Subcontractor affidavits shall be submitted before beginning work. No occupancy allowed prior to issuance of CO.

City of Sandy Springs - 7840 Roswell Rd, Bldg 500 - Sandy Springs, GA 30350 - 770.730.5600 - www.sandyspringsga.gov

X:\CommunityDevelopment\Building and Development Division\Forms, Standards, Guidelines October 2, 2017

Commercial Permit Application Process

1. Owner Affidavit

- a) You must Execute for Tenant (New Tenant Occupancy Permit)
- b) Or (for all other commercial permits) the General Contractor, if a contract has already been awarded
- c) Or for the Permit Expediter, if the contractor has not yet been determined

5. Who can apply for a permit?

6. Who can pick up a permit?

7. When are fees due?

Utility Reconnect Permit

- **If electrical service to a tenant space has been disconnected for more than 6 months** Georgia Power will not re-energize the service until they receive a wiring approval from the local jurisdiction.
- The Property Manager or the Tenant will need to apply for a Utility Reconnect permit.
- Prior to issuing the permit, the City requires a written statement from a licensed electrician stating that he or she visited the site and found that the electrical systems were intact and in safe operable condition.
- If all the paperwork is complete, the permit can be issued over-the-counter.
- Once the permit has been issued the Applicant can request a Utility Reconnect inspection.
- Upon approval by a Building Inspector the wiring approval is submitted to Georgia Power, and the electrical service can be re-energized.

To Apply for a Permit in Person:

Make an appointment at City Hall: <https://spr.gs/qless>

For further assistance with Permitting:

Reach us via phone: [770-206-4397](tel:770-206-4397)

NEW TENANT OCCUPANCY PERMITS

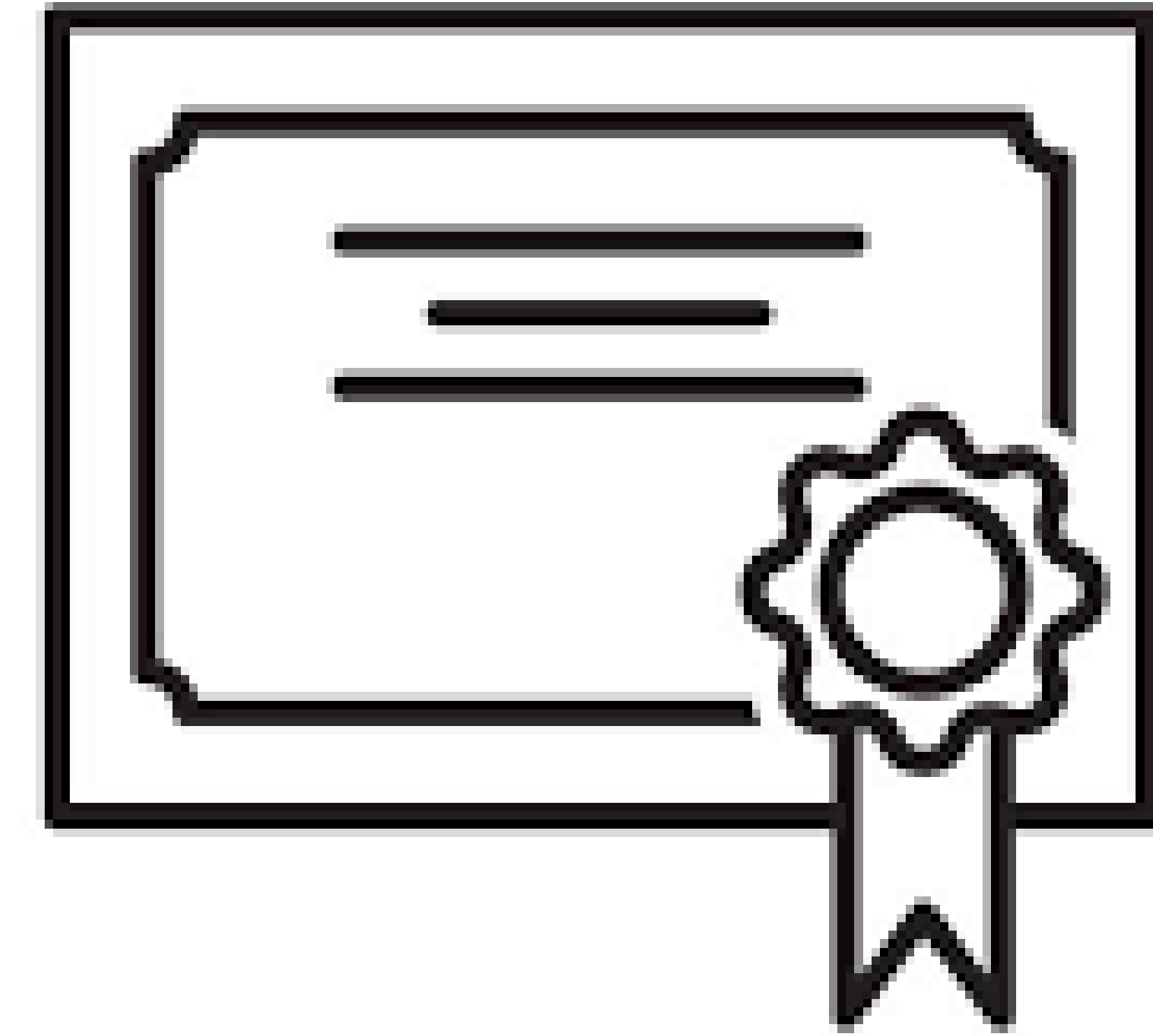
New Tenant Occupancy Permit

- Required for all new tenants occupying a commercial space for the first time.
- It is only for tenants who are:
 - Not making changes to the floor plan; or
 - Not changing the use of the space.
- It can include fresh finishes like paint and carpet.



New Tenant Occupancy Permit

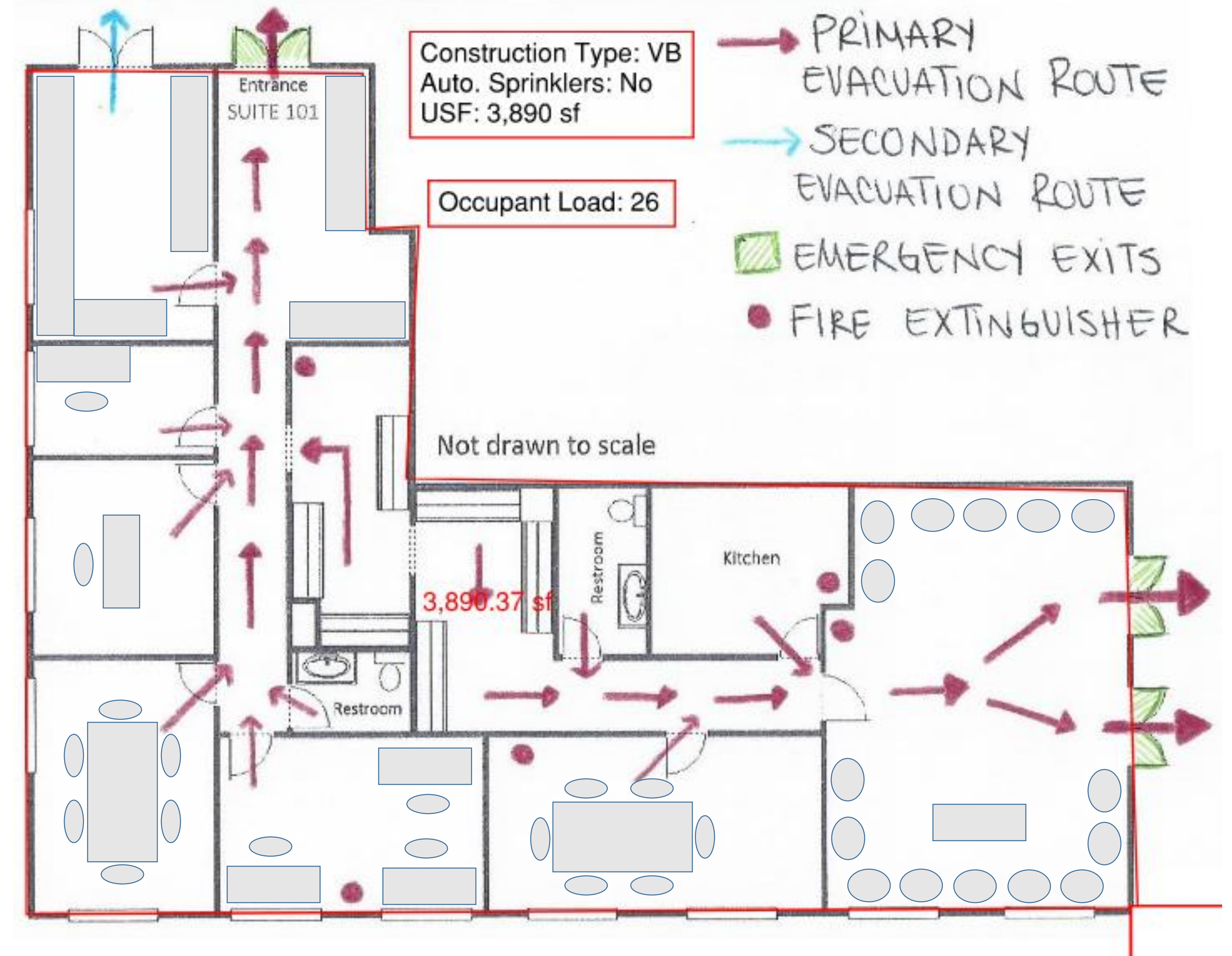
- It is the pathway to receiving a new Certificate of Occupancy.
- Minimal charge (currently \$80.00)
- Plan reviews are usually turned around in 3 business days
- Before the permit is issued, a tenant must provide proof that they have applied for a Sandy Springs business license.



The One Drawing Permit

- Only a Life Safety Plan is required for New Tenant Occupancy permits.
- The Life Safety Plan **must include** the following on the drawings:
 - A scaled floor plan that shows the current layout of the suite, including a furniture layout plan.
 - Egress paths in the suite including required separation of exits, maximum travel distances, and common paths of travel.

EMERGENCY EVACUATION PLAN



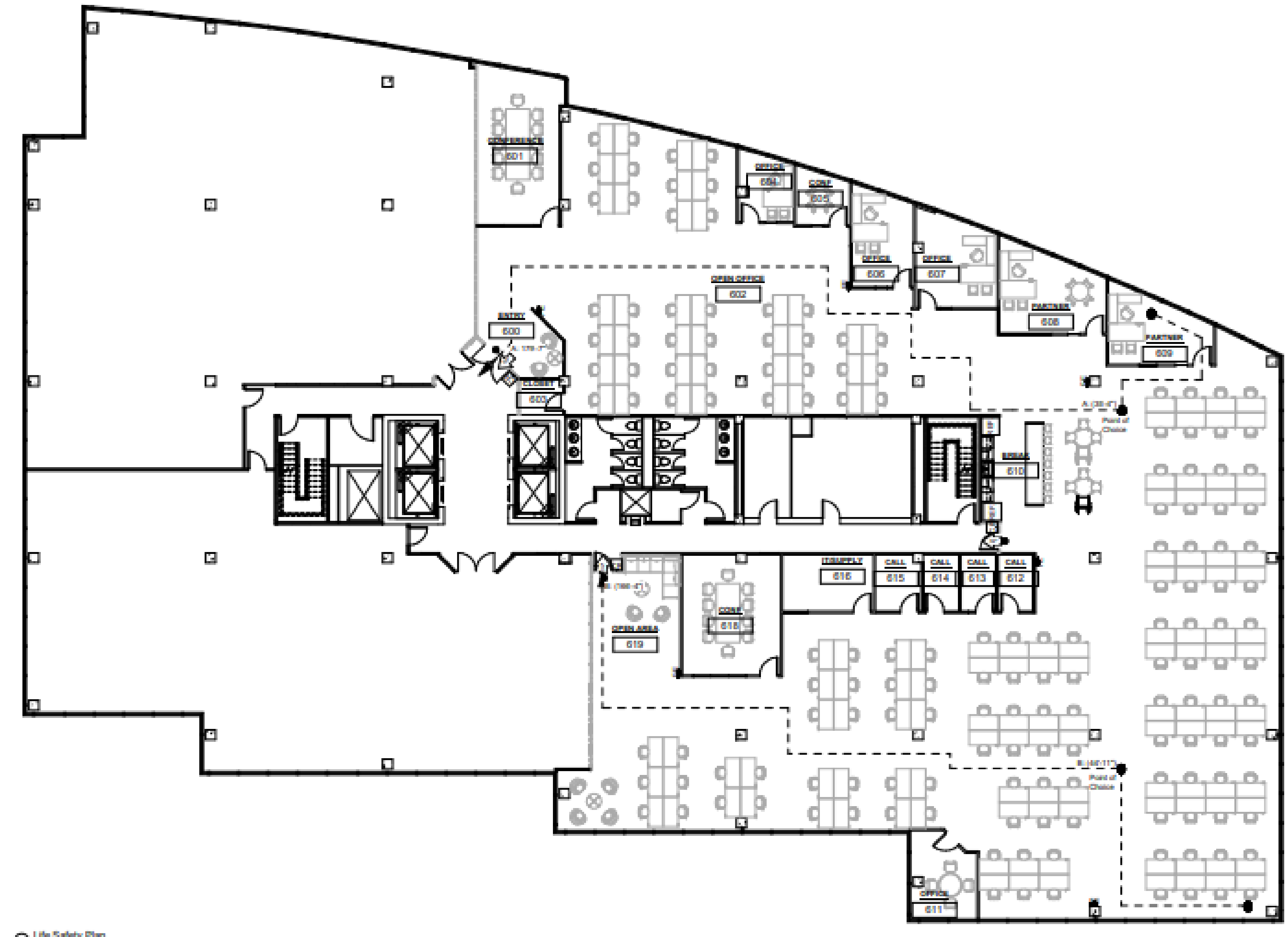
The One Drawing Permit

- The Life Safety Plan must include the following on the drawings:
 - An occupant load calculation on a space-by-space basis based on the factors in Table 7.3.1.2 of the 2018 Life Safety Code
 - Tenant space address (including any building or suite #)
 - Contact name and information for the tenant

OCCUPANCY SUMMARY			
ROOM	AREA (SF)	OCCUPANT LOAD FACTOR (SF/PERSON)	OCCUPANCY
ENTRY 100	52	15	4
CONF 109	219	15	15
BREAK 110	61	15	5
ALL OTHER AREAS	1,616	150	11
TOTAL:	1,948		35

The One Drawing Permit

- The Life Safety Plan must include the following on the drawings:
 - List the building's construction type
 - List the occupancy type of the tenant
 - State the presence of a fire sprinkler system
 - A vicinity map that shows the tenant's location on the site or floor.



Life Safety Plan
1" = 10'-0"

LIFE SAFETY SUMMARY			
ITEM	REQUIRED	PROVIDED	COMMENTS
NUMBER OF EXITS	2	3	
EXIT DOOR WIDTH	108 X 32 + 31.2"	120"	0.20 PER 2018 NFPA 101 TABLE 7.3.3.1
EXIT STAIR WIDTH	108 X 32 + 68.8"	72"	0.30 PER 2018 NFPA 101 TABLE 7.3.3.1
TRAVEL DISTANCE - A	A: 300' MAX	A: 179'-0"	200' NON SPR. / 300' SPRINKLER
TRAVEL DISTANCE - B	B: 300' MAX	B: 189'-0"	
COMMON PATH OF TRAVEL - A	A: 100' MAX	A: 30'-0"	70' NON SPR. / 100' SPRINKLER
COMMON PATH OF TRAVEL - B	B: 100' MAX	B: 66'-11"	
DEAD-END CORRIDOR	90' MAX	N/A	20' NON SPR. / 90' SPRINKLER
OCCUPANCY SUMMARY			
BUSINESS	1,100	75 PEOPLE	11,500 SF
ASSEMBLY (BOULEVARD, ETC)	1,150 NET	82 PEOPLE	1,254 SF
STORAGE (800,000, ETC)	1,800	0 PEOPLE	191 SF
TOTAL NUMBER OF OCCUPANTS		157 PEOPLE	12,945 SF

LEGEND	
SYMBOL	DESCRIPTION
	BUILDING STANDARD EXIT SIGN WITH BATTERY BACKUP
	BUILDING STANDARD EMERGENCY EXIT SIGN WITH BATTERY BACKUP
	BUILDING STANDARD AUDIO / VISUAL ANNUNCIATOR - WALL MOUNTED AT 80" A.F.F.
	LOCATION OF FIRE EXTINGUISHER - A, A, B, BC
	EXIT SIGN
	EXIT DOOR
	TRAVEL DISTANCE (COMMON PATH OF TRAVEL, POINT OF CHOICE) - SEE 2018 NFPA 101 - A.7.3.1.4

COMMERCIAL INTERIOR REMODEL PERMITS

Commercial Interior Remodel Permits:

- **IF a new tenant represents a change of use, for example:**
 - Business to Daycare/Educational
 - Business to food service
 - Mercantile to medical facility
- **or WHEN a new tenant is proposing changes to the floor plan, including:**
 - Removing or adding walls,
 - Removing, altering, or adding plumbing, wiring, or ductwork,
 - adding fixed furniture (such as “cubicles,” reception desks, etc.), cabinetry, merchandise displays, etc.
 - altering the exit path in any way
- **THEN** a Commercial Interior Remodel permit is required.

Commercial Permit Application Process

1. Construction Documents

a) Cover Sheet

b) Life Safety Plan

c) Demolition Plan

d) Plans & Specs

a) Architectural

b) MEP

c) Structural

d) ADA Conformance

2. Design Professionals' Seals And Signatures

10th Floor Common Area Renovation

**Glenridge Highlands II
5565 Glenridge Connector
10th Floor
Sandy Springs, GA 30342**

PERMITTED BUILDING PERMIT
SANDY SPRINGS, GA DEPARTMENT OF DEVELOPMENT DEPARTMENT
BY: [Signature]
04/19/2022

NELSON
1170 Peachtree St. N.E.
Suite 1700
Atlanta, Georgia 30309
404.881.1811

PIEDMONT
10th Floor Common Area Renovation
Glenridge Highlands II
5565 Glenridge Connector
10th Floor
Sandy Springs, GA 30342
2,282 USF

Title Sheet & Life Safety Plan
Drawn By: K.McCone
Checked By: M.McCone
Project Number: 22-0004113-000
File ID: C001_1 Title & Life Safety Plan
Date: 03/18/22

Released for Construction
Sheet Number: **1-1.1**
of 7

BC22-00181
5565 Glenridge Connector, 10th Floor
5565 Glenridge Connector, 10th Floor
5565 Glenridge Connector, 10th Floor

Building Information

Jurisdiction - City of Sandy Springs
Building Description - A multi-tenant, high-rise office building constructed of reinforced concrete and steel frame with glass facade.
Building Construction Type per 2018 IBC, Chapter 6 - Type IA
Date of Building Construction - 2000
High Rise - Yes, exceeds 75 Feet per 2018 NFPA 101 Section 3.3.3.7.7
Total Number of Floors - 20 (includes basement)
Total Building Area - +/- 414,400 SF
Typical Floor Area - +/- 21,800 SF
Sprinklered - Yes
Generator - Yes
Elevator Lobby - This floor has enclosed elevator lobby that complies with 2018 IBC Section 3006.3(2)(sprinklered).
Zoning - O-1 with case # 20017-0069

2022 City of Sandy Springs Code Requirements

Building - 2018 International Building Code (IBC), with 2020 and 2022 Georgia Amendments
Fire Safety - 2018 International Fire Code (IFC), with 2020 Georgia Amendments
Plumbing - 2018 International Plumbing Code (IPC), with 2020 and 2022 Georgia Amendments
Mechanical - 2018 International Mechanical Code (IMC), with 2020 Georgia Amendments
Gas Piping - 2018 International Fuel Gas Code (IFGC), with 2020 and 2022 Georgia Amendments
Electrical - 2020 National Electrical Code (NEC), with 2021 Georgia Amendments
Energy - 2015 International Energy Conservation Code (IECC), with 2020 and 2022 Georgia Amendments; Optional: 2013 ASHRAE 90.1 Standard for Commercial Buildings
Existing Buildings - 2018 International Existing Building Code, with 2021 Georgia Amendments (Permissive Code until July 1, 2022, when it is a Mandatory Code with 2022 Georgia Amendments)
Accessibility - Georgia Accessibility Code - Rules & Regulations of the Safety Fire Commissioner, Chapter 120-3-3-.08, Accessibility to and Use of Public Facilities by Persons with Disabilities
Life Safety - NFPA 101-2018 Life Safety Code; as amended by Rules and Regulations of the Safety Fire Commissioner, Chapter 120-3-3

Georgia Accessibility Code

We certify that we have prepared these plans in conformity with the Georgia Accessibility Code, Chapter 120-3-3-.08, of the Rules and Regulations of the Georgia Safety Fire Commissioner referencing the 2010 ADA Standards for Accessible Design for making buildings and facilities accessible to and usable by people with disabilities to the best of our knowledge, information, and belief for the scope of the work herein permitted.

Project Information

Project Description: Interior alteration of existing business office common corridor, elevator lobby, and restrooms within an occupied multi-tenant floor. Work includes selective demolition, construction of new partitions, new decorative finishes per building standard, alteration of existing ceiling, associated MEP alterations, modifications to existing life-safety devices. MEP by others.

Project Usable Area: 2,282 USF

Existing Occupancy Use and Classification per 2018 NFPA 101: Section 6.1.1.1, B - Business Occupancy

No Change to Occupancy

Max. Egress Capacity for the Floor per 2018 NFPA Table 7.3.3.1:

Doors: (2) 36" doors (34" actual) are provided - 68"/0.2 = 340 persons
 Stairs: 2 stairs of 44" are provided - 88"/0.3 per person = 293 persons
 Max. Egress Capacity - Floor = 293 persons

Exiting Requirements for an Existing Business Occupancy per 2018 NFPA 101 Chapter 39:

Min. number of Means of Egress required from floor: 2 exits required, 2 exits provided
 Arrangement of Means of Egress: 1/3 diagonal distance per Section 7.5.1.3.3 (sprinklered)
 Max. Travel Distance: 300' (per Section 39.2.6.3; distance is shown on the Life Safety/Exit Plan and complies)
 Max. Common Path of Travel: 100' (per Section 39.2.5.3.1)
 Max. Dead End Corridor: 50' (per Section 39.2.5.2; corridors comply)
 Min. corridor width at Means of Egress: 44" (per Section 39.2.3.2; all corridors comply)
 Min. door width: 32" (per Section 7.2.1.2.3; 36" wide doors provide 34" clearance and meet the 32" requirement)

Fire Protection Requirements per 2018 IBC and 2018 NFPA 101:

Tenant Demising walls: Non-rated per Section 508
 Occupancy Separation: N/A
 Corridor Partitions: No requirements per NFPA 101, Section 39.3.6
 Wall Penetrations: No Rating Required
 Floor Penetrations: Two hour rated
 Opening Protectives: Doors - No Rating Required
 Storage Rooms: Non-rated per IBC Table 508.4 (no separation required between B and S-1); NFPA 101 Sections 38.3.2.1/A38.3.2.1 and 39.3.2.1/A39.3.2.1

Notice of Shared Responsibility

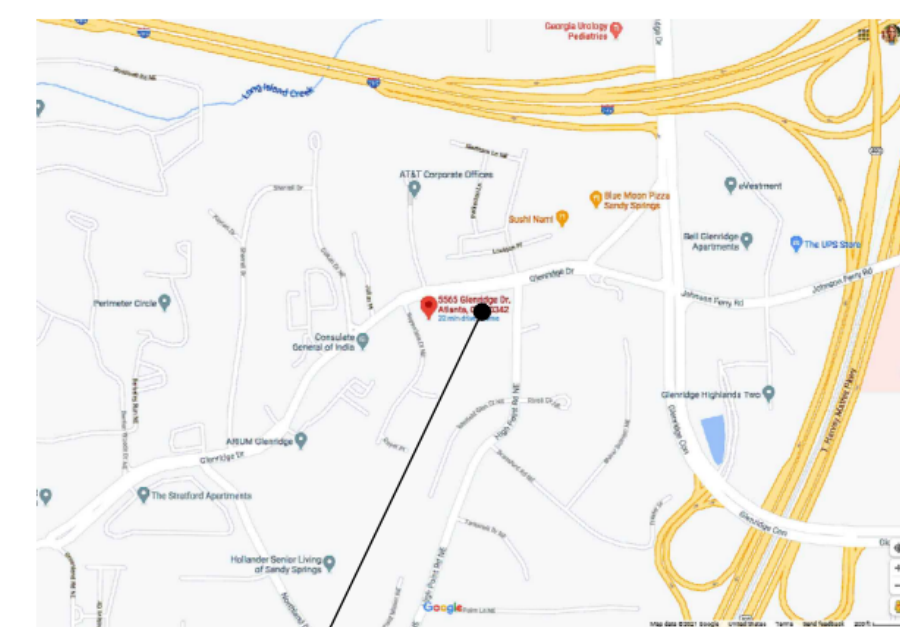
At this time, NELSON has only been engaged on this project to provide professional services limited to the preparation of construction documents, thereby allowing the Architect of Record limited involvement during the construction administration phase. Due to this fact, Georgia Code requires us to include the following statement on our documents:

"The Architect of Record and NELSON are not responsible for interpreting the intent of these construction documents, including making modifications as may be necessary during the construction phase; the Architect of Record is no longer liable for the work where changes to these documents have been made."

Table of Contents

- I-1.1 Title Sheet & Life Safety Plan
- I-1.2 General Notes
- I-2 Demolition & Partition Plans
- I-3 Reflected Ceiling, Power/Communication & Finish Plans
- I-4 Enlarged Restroom Plans
- I-5 Details
- M-0.1 Mechanical Legend, Notes, Schedules, & Details
- M-1.10 Mechanical Floor Plans
- E-0.1 Electrical Legend & Notes
- E-0.2 Electrical Fire Stopping Details - Electrical
- E-1.10 Partial 10th Floor Plan - Lighting
- P-0.1 Plumbing Legend, Notes, Schedules, & Details
- P-1.10 Plumbing Floor Plan

Vicinity Map



Glenridge Highlands II

Sandy Spring Notes

- The following plans do not involve any reconfiguration of land, therefore, no site plan or land disturbance permit number is required.
- These plans do not include any modifications to the sewer tap-in, water tap-in or septic well, therefore, no permit or receipt is required.
- The project will be sent out to bid and the awarded Contractor is responsible for picking up the permit. If these plans are to be submitted by a permit expediting company the permit expediting company will submit all of the Contractors' information (including business license number) to Sandy Springs prior to the Contractor picking up the permit.
- Architectural drawings are included. Due to minimal scope, Mechanical and Electrical drawings are not required per the city of Sandy Springs (area of construction is less than 5,000 SF). Structural drawings are not required for this project. Low Voltage and Fire Protection drawings are the responsibility of the awarded Contractor. The Contractor is responsible for producing and submitting the required drawings to Sandy Springs permit office.
- This project contains no materials regulated as constituting a physical or health hazard, hazardous production material, detonation hazard, deflagration hazard, or a hazard from accelerated burning, and/or material that readily support combustion in excess of those found in 2018 IBC Tables 307.1(1) AND 307.1(2).
- This project contains no structural work covered by the requirements of Chapter 17.
- No new manufactured trusses, pre-engineered metal, precast concrete, or modular buildings are being used on this project.
- Please refer to sheet I-1.1 for the Egress/Life Safety plan.

Symbol Legend

- Fire Extinguisher** - Fully Recessed Cabinet
- Light Fixture** - 2x2' Fluorescent (Emergency Circuit)
- Light Fixture** - LED Recessed Downlight (Emergency Circuit)
- Light Fixture** - Exit Sign (Emergency Circuit)
- Fire Safety** - Fire Alarm Horn/Stroke
- Fire Safety** - Fire Alarm Pull Station

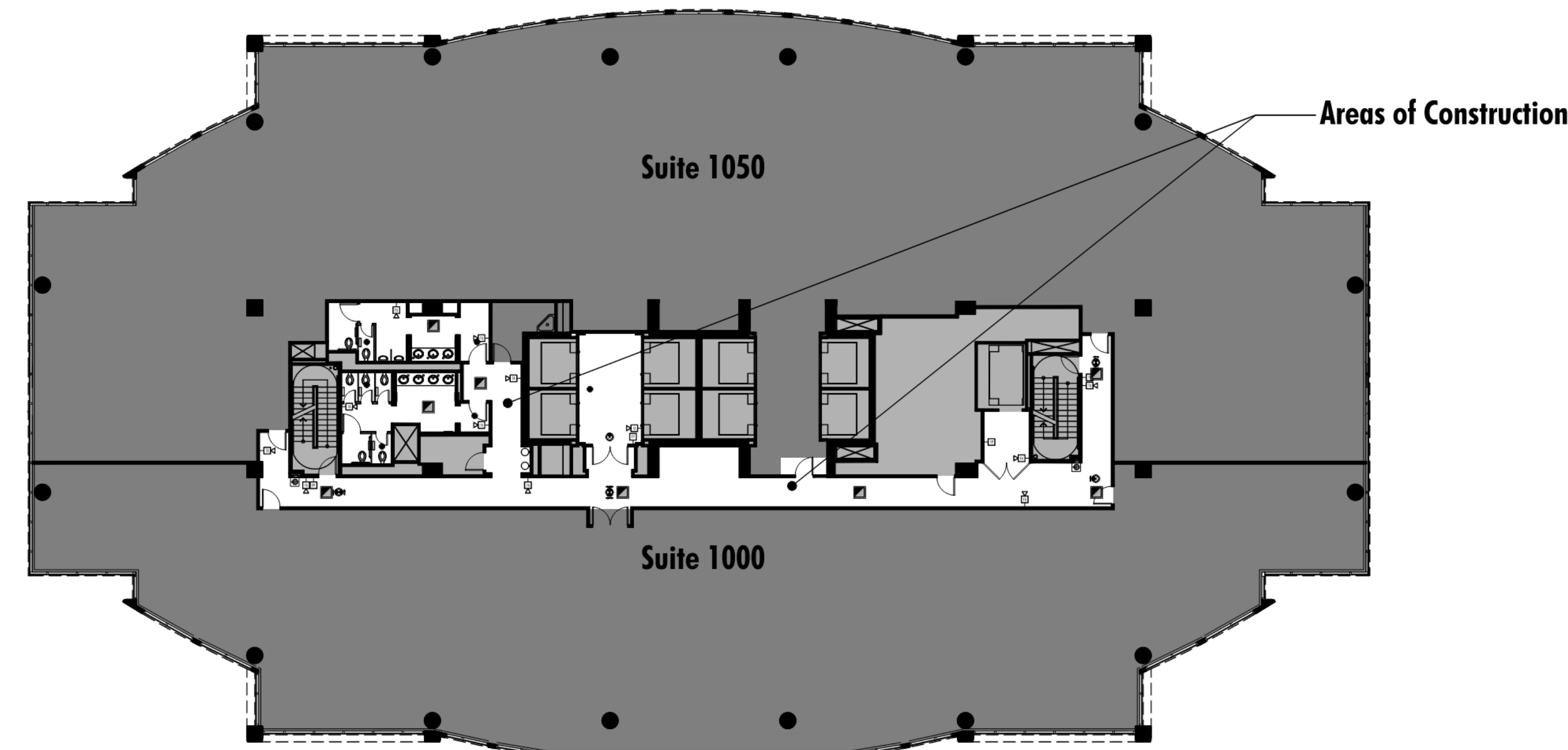
10th Floor Common Area Renovation

Glenridge Highlands II
 5565 Glenridge Connector
 10th Floor
 Sandy Springs, GA 30342



Interior Planning & Design
NELSON
 1170 Peachtree Street, N.E.
 Suite 1700
 Atlanta, GA 30309
Contact - Vivian McCann
Architect - Robert Hinkle
Phone - 404.881.1811
Fax - 404.876.1289
Email - vmccann@nelsonww.com; rhinkle@nelsonww.com

Property Management/Construction Manager
Piedmont Office Realty Trust, Inc.
 5555 Glenridge Connector
 Suite 175A
 Atlanta, GA 30342
Contact - Trana Morton / Miller Getz
Phone - 404.481.5202
Email - trana.morton@piedmontreit.com / miller.getz@piedmontreit.com



1 Key Plan/ Life Safety Plan
 I-1.1 1/16" = 1'-0"



Construction Document Approval

As an agent of the Tenant Owner/Manager, my signature indicates that I have reviewed this set of Construction Documents and find that they reflect the requirements agreed upon and I hereby:

Approve Approve as noted these documents for construction.

Signature _____
 Print Name _____ Date _____

Per Client direction, these drawings do not reflect guidelines set forth by the World Health Organization, Centers for Disease Control and Prevention or other governmental agency guidelines related to COVID-19.

NELSON

Nelco Architecture, Inc.
 a licensed affiliate

1170 Peachtree St. N.E.
 Suite 1700
 Atlanta, Georgia 30309
 404.881.1811

Release History

Date	Remark
12.01.2021	Issued for Landlord Review
03.18.2022	Issued for Pricing, Permit, & Construction

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10th Floor Common Area Renovation

Glenridge Highlands II
 5565 Glenridge Connector
 10th Floor
 Sandy Springs, GA 30342

2,282 USF

Title Sheet & Life Safety Plan

Drawn By V.McCann
 Checked By MW/RH
 Project Number 21.0004113.000
 File ID CD01_1_Title & Life Safety Plan
 Date 03.18.22

Released for Construction

Sheet Number

I-1.1

of 7

BC22-00181

5565 Glenridge Connector, 10th Floor

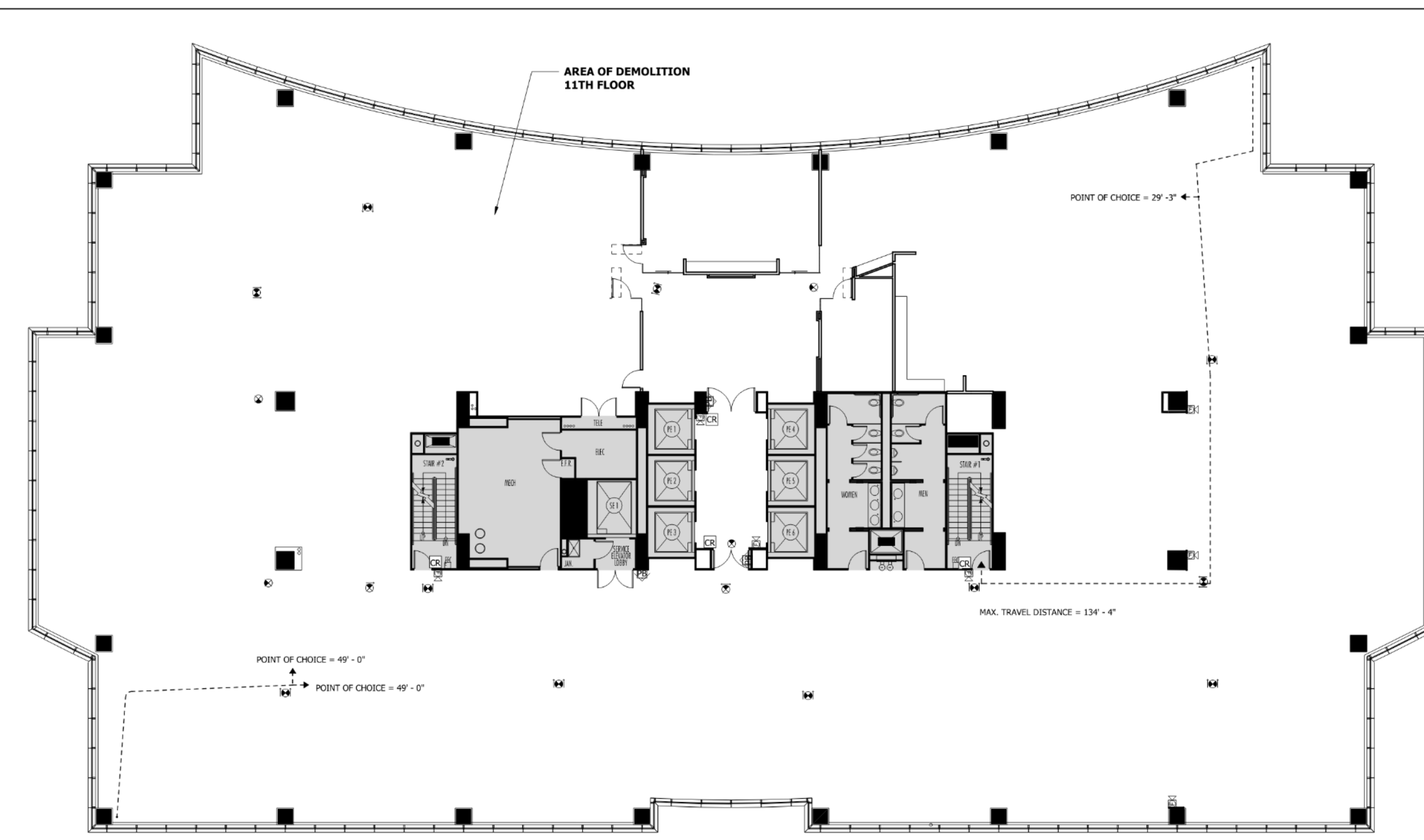
Commercial Permit Application Process

1. Construction Documents: Demolition Plan

- Cover sheet if for a Demolition Only Permit
- Work to be Removed
- Necessary Patching

2. Design Professionals' Seals And Signatures

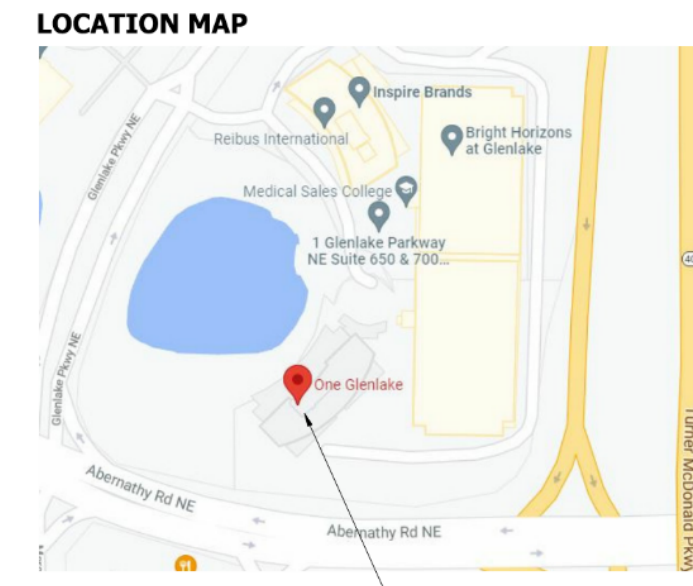
INSPIRE BRANDS
INSPIRE BRANDS
 ONE GLENLAKE
 ONE GLENLAKE PKWAY
 11TH FLOOR ATLANTA, GA 30328



Sheet Number	Sheet Name	Sheet Date	Drawing Revision Number	Revision Date
AB-1	COVER SHEET	03/18/2022		
AB-2	GENERAL NOTES	03/18/2022		
AB-3	DEMOLITION PLAN	03/18/2022		

BUILDING INFORMATION		
SITE ADDRESS:	ONE GLENLAKE PARKWAY ATLANTA, GA 30328	
PERMITS:	PER COUNTY RECORDS	PER COUNTY RECORDS
DATE OF CONSTRUCTION:	2002 - PER JURISDICTIONAL RECORD	
CONSTRUCTION TYPE:	I-B	
FIRE PROTECTION:	FULLY SPRINKLERED	
NUMBER OF STORIES:	14 - NOTE OF HIGH RISE OCCUPIED PER 9-79	
BUILDING TOTAL FLOOR AREA:	365,000 SF	

PROJECT DESCRIPTION		
PROJECT AREA:	SUITE AREA	FLOOR AREA
PER #11	24,266 SF	24,266 SF



APPLICABLE CODES

2022 CITY OF SANDY SPRING CODE REQUIREMENTS
 BUILDING - 2018 INTERNATIONAL BUILDING CODE (IBC), WITH 2020 AND 2022 GEORGIA AMENDMENTS
 FIRE SAFETY - 2018 INTERNATIONAL FIRE CODE (IFC), WITH 2020 GEORGIA AMENDMENTS
 PLUMBING - 2018 INTERNATIONAL PLUMBING CODE (IPC), WITH 2020 AND 2022 GEORGIA AMENDMENTS
 MECHANICAL - 2018 INTERNATIONAL MECHANICAL CODE (IMC), WITH 2020 GEORGIA AMENDMENTS
 GAS PIPING - 2018 INTERNATIONAL FUEL GAS CODE (IFGC), WITH 2020 AND 2022 GEORGIA AMENDMENTS
 ELECTRICAL - 2020 NATIONAL ELECTRICAL CODE (NEC), WITH 2021 GEORGIA AMENDMENTS
 ENERGY - 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC), WITH 2020 AND 2022 GEORGIA AMENDMENTS, OPTIONAL 2018 ASHRAE 90.1 STANDARD FOR COMMERCIAL BUILDINGS
 EXISTING BUILDINGS - 2018 INTERNATIONAL EXISTING BUILDING CODE, WITH 2018 GEORGIA AMENDMENTS, PERMISSIVE CODE (MAY 1, 2022, WHEN IT IS A MANDATORY CODE WITH 2022 GEORGIA AMENDMENTS)
 ACCESSIBILITY - 2018 INTERNATIONAL BUILDING CODE - BUILDING REGULATIONS OF THE SAFETY FIRE COMMISSIONER, CHAPTER 10-3-3, AS AMENDED BY RULES AND REGULATIONS OF THE SAFETY FIRE COMMISSIONER, CHAPTER 10-3-3
 LIFE SAFETY - NFPA 101-2018 LIFE SAFETY CODE, AS AMENDED BY RULES AND REGULATIONS OF THE SAFETY FIRE COMMISSIONER, CHAPTER 10-3-3
 GEORGIA ACCESSIBILITY CODE
 WE CERTIFY THAT WE HAVE PREPARED THESE PLANS IN CONFORMANCE WITH THE GEORGIA ACCESSIBILITY CODE, CHAPTER 10-3-3, OF THE RULES AND REGULATIONS OF THE GEORGIA SAFETY FIRE COMMISSIONER NOTING THE 2018 ADA STANDARDS FOR ACCESSIBLE DESIGN FOR MAKING BUILDINGS AND FACILITIES ACCESSIBLE TO AND USABLE BY PEOPLE WITH DISABILITIES TO THE BEST OF OUR KNOWLEDGE, INFORMATION, AND BELIEF FOR THE SCOPE OF THE WORK HEREIN REPRESENTED.

KEY PLAN/ LIFE SAFETY PLAN
 3/17 - 1-0'

LIFE SAFETY LEGEND	
---	EGRESS PATH SEGMENT
□	CHAD REGISTER
→	PATH OF EGRESS
→	EXIT SIGN
☒	FIRE EXTINGUISHER - 80# RECESSED CABINET
→	PUSH TO EXIT
☒	FIRE ALARM
■	KEY SHADE - NIC

CODE ANALYSIS

OCCUPANCY USE AND CLASSIFICATION PER 2018 NFPA 101:
 SECTION 6.1.1.1: BUSINESS OCCUPANCY
MAX. EGRESS CAPACITY FOR FLOOR PER 2018 NFPA TABLE 7.3.3.1:
 DOORS: 2 STANS OF 44" ARE PROVIDED - 887 (2) = 1774 PERSONS
 STAIRS: 2 STAIRS OF 44" ARE PROVIDED - 887 (2) = 1774 PERSONS
MAXIMUM OCCUPANT LOAD - FLOOR - 203 PERSONS

OCCUPANT LOAD CALCULATION FOR FLOOR PER 2018 NFPA 101:
 278 PERSONS PER CERTIFICATE OF OCCUPANCY

EGRESS REQUIREMENTS FOR AN EXISTING BUSINESS OCCUPANCY PER 2018 NFPA 101, CHAPTER 10:
 MIN. NUMBER OF MEANS OF EGRESS REQUIRED FROM SUITE: 2 (2) ARE REQUIRED, 2 EXITS PROVIDED
 ARRANGEMENT OF MEANS OF EGRESS: 1/3 DIAGONAL DISTANCE PER SECTION 7.5.1.3.3 (SPRINKLERED)
 MAX. TRAVEL DISTANCE: 180' PER SECTION 7.5.1.3.3.2 (DISTANCE COMPLIES)
 MAX. COMMON PATH OF TRAVEL: 180' (PER SECTION 7.5.1.3.1, DISTANCE COMPLIES)
 MAX. LEGAL EGRESS CORRIDOR: 90' PER SECTION 7.5.1.3.1.2 (CORRIDOR COMPLIES)
 MIN. CORRIDOR WIDTH AT MEANS OF EGRESS: 44" (PER SECTION 7.5.1.3.2, ALL CORRIDORS COMPLY)
 MIN. DOOR WIDTH: 32" (PER SECTION 7.5.1.3.1, 36" WIDE DOORS PROVIDED 34" CLEARANCE AND MEET THE 32" REQUIREMENT)

FIRE PROTECTION REQUIREMENTS PER IBC 2006 EDITION:
 TENANT SPRINKLING: NONE REQUIRED PER SECTION 908
 OCCUPANCY SEPARATION: N/A
 CORRIDOR SPRINKLING: NO REQUIREMENTS PER NFPA 101, SECTION 7.5.1.3.3
 WALL FINE PARTICULATE: ONE HOUR RATED AT ELEVATOR LOBBY
 FLOOR FINE PARTICULATE: TWO HOUR RATED
 OPENING PROTECTIVES: 45-MINUTE RATED AT ELEVATOR LOBBY
 ELEVATOR LOBBY: ONE - HOUR RATED

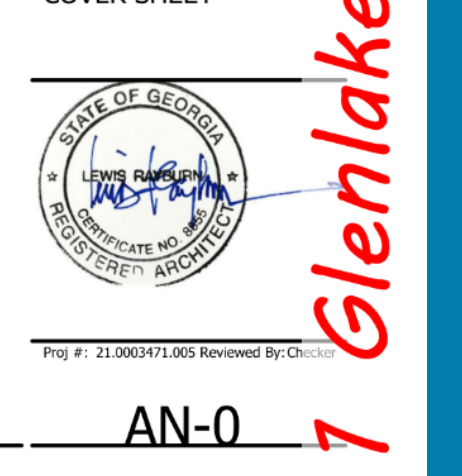


NELSON
 Nelson Architecture & Interiors, Inc.
 1170 Peachtree Street, Suite 1700
 Atlanta, GA 30309
 Phone: 404 881-3811
 WWW.NELSONWORLWIDE.COM

PROJECT INFORMATION		
PROJECT AREA:	SUITE AREA	FLOOR AREA
PER #11	24,266 SF	24,266 SF

INSPIRE Brands
 ONE GLENLAKE
 ONE GLENLAKE PARKWAY
 11TH FLOOR ATLANTA, GA 30328
 PROJECT LOCATION

COVER SHEET
 PROJECT NORTH
 PROJECT # 21.0003471.005 Reviewed By: CH...



DM22-00030

7 Glenlake Parkway, 17th Floor

AN-0

Commercial Permit Application Process

1. Construction Documents: **Plans & Specs**
 - a) All Disciplines' Docs Coordinated
 - b) All with Current Code Citations
 - c) City Review is for Code Conformance Only
 - d) Limited MEP May Be Design/Build
 - e) Sprinkler Plans Submitted Separately to Fire Marshal
2. Design Professionals' Seals And Signatures

Supporting Documents, *e.g.*

a) Determined Occupant Load Affidavit (DOLA)

b) Fulton Public Works Grease Trap Approval

c) Fulton Health Dept. Food Service Approval

d) Georgia Dept. of Agriculture Approval

e) State Childcare Approval

f) Structural Analysis

1. Submit Simultaneously or Sequentially

2. No Permit Until City Receives Approvals

Date: April 29, 2022

Nathan Peterson
Verizon Wireless
10300 Old Alabama Conn Rd.
Alpharetta, GA 30022

SMW Engineering Group, Inc.
158 Business Center Dr.
Birmingham, AL 35244
(205) 252-6985

Subject: Structural PE Letter

Carrier Designation: Verizon Wireless Equipment Change-out
Carrier Site Name: Dunwoody/Marta
Carrier Site Number: 133463

Engineering Firm Designation: SMW Engineering Group, Inc. Project Number: 22-0125

Site Data: 6110 Peachtree Dunwoody Road, Atlanta, GA 30328 (Fulton County)
Latitude 33.920803°, Longitude -84.352144°
Rooftop

Dear Nathan Peterson,

SMW Engineering Group, Inc. is pleased to submit this "Structural PE Letter" to determine the structural integrity of the above-mentioned structure.

The purpose of the assessment is to determine acceptability of the structure to sufficiently support the telecommunications equipment presented in this report. Based on our professional opinion we have determined the suitability for the structure, under the following load case, to be:

Final Equipment Configuration Sufficient Capacity

This assessment was performed in accordance with the 2018 International Building Code, based upon an ultimate 3-second gust wind speed of 107 mph. Applicable Standard references and design criteria are listed in Section 2 - Analysis Criteria.

We at SMW Engineering Group, Inc. appreciate the opportunity of providing our continuing professional services to you. If you have any questions or need further assistance on this or any other projects, please give us a call.

Respectfully submitted by:


Jeremy Sharit, P.E.
Project Engineer
GA CA #PEF005626

DETERMINED OCCUPANT LOAD AFFIDAVIT

A. AUTHORIZED REPRESENTATIVE

I HEREBY AFFIRM THAT:

I am the (title) _____ and the duly authorized Representative of (name of business) _____, located at (location of Business) _____, and that I possess the legal authority to make this Affidavit on behalf of myself and the business for which I am acting.

B. CERTIFICATION OF MAXIMUM OCCUPANT LOAD:

1. To the best of my knowledge, information, and belief the maximum determined occupant load of the business named above is: _____ Persons

C. POSTING OF MAXIMUM OCCUPANT LOAD:

1. I agree to post the maximum determined occupant load and furniture diagram in plain view of the public for the life of the business at the above location.

I DO SOLEMNLY DECLARE AND AFFIRM UNDER THE PENALTIES OF PERJURY THAT THE CONTENTS OF THIS AFFIDAVIT ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

AFFIANT: _____

Subscribed and sworn to before me by

FULTON COUNTY
DEPARTMENT OF PUBLIC WORKS
COMMERCIAL PRETREATMENT SECTION
11575 MAXWELL ROAD, ALPHARETTA, GA 30009

COMMERCIAL WASTEWATER PERMIT # 4715

NOWAK'S SANDY SPRINGS
Company Name
is authorized to discharge wastewater from the commercial facility located at
6690 ROSWELL RD., SANDY SPRINGS, GA 30328

through a designated pretreatment system to Fulton County sanitary sewer system and wastewater plant operations in accordance with the county design standards, effluent limitations and maintenance frequencies as stated in the Sewer Use and Pretreatment Ordinance, Section 82-251.

Date Issued: **JULY 27, 2022** Expiration Date: **MARCH 31, 2023**

Issued by: *Rebha Desai, Commercial Pretreatment Manager*

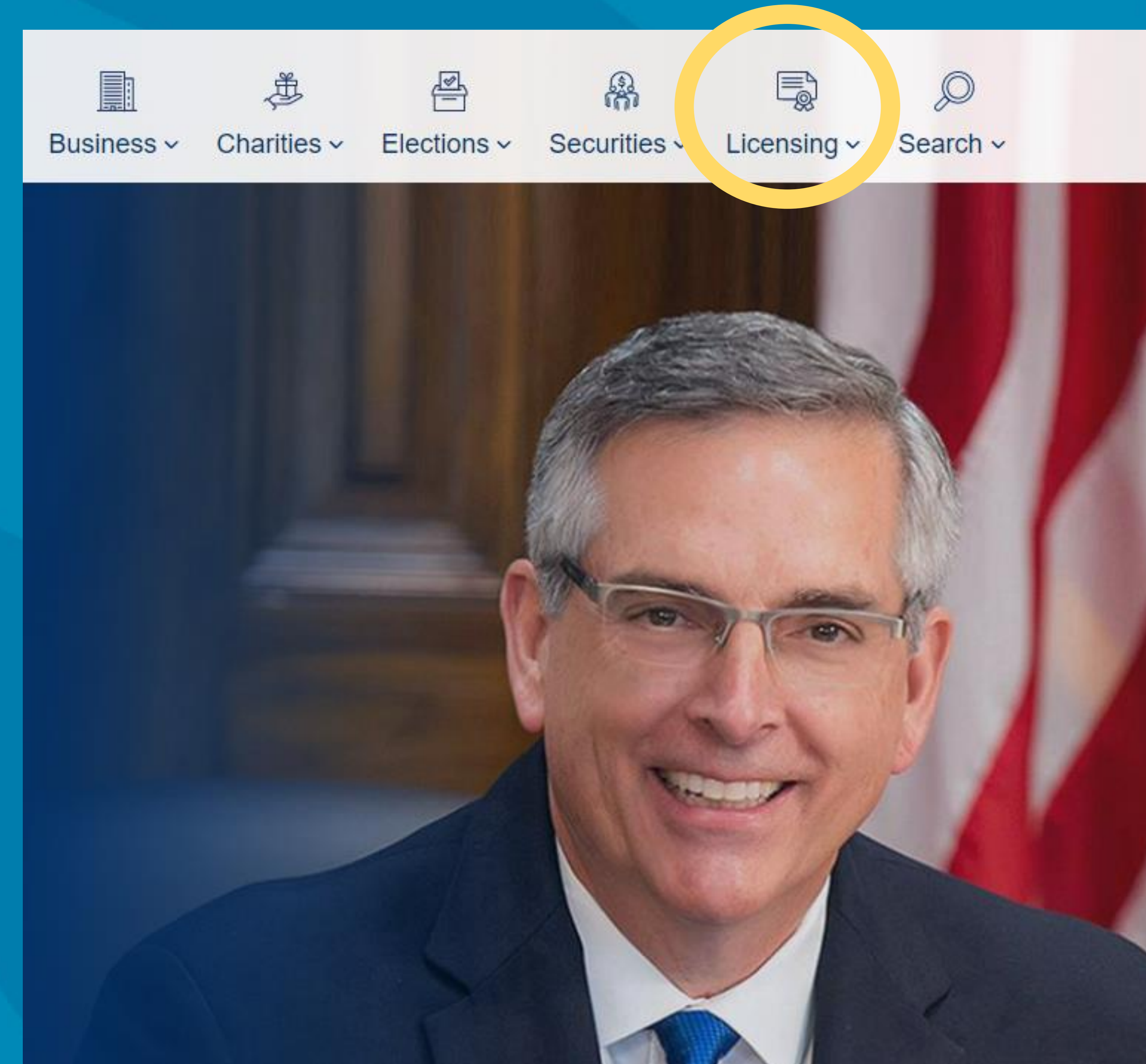
The generator is responsible for renewing this permit **annually**. Failure to do so will result in a 25% penalty added to the permit fee.

DISPLAY FOR PUBLIC VIEW – NOT TRANSFERABLE

Commercial Permit Application Process

Design Professionals' Seals And Signatures

1. Design Professionals Licensed in the State of Georgia
 1. Licensed Architect
 2. Licensed Engineer
 3. Licensed Interior Designer
2. Required by State on Most Commercial Projects
3. Confirm on the Secretary of State's Website:
<https://sos.ga.gov/>



How Can You Help Your Tenant Succeed?

1. Be familiar with the City's permitting requirements
2. Know your building's Construction Type
3. Know whether it has fire sprinklers
4. Be familiar with Occupancy Types (Different Types can have very different requirements)
5. Know about infrastructure on your property, *e.g.*, grease traps, fire hydrants, elevators
6. Have a list of licensed architects and interior designers who can help them
7. Have contact info for Fulton County Health and Public Works offices

How Can You Help Your Tenant Succeed?

- Top Ten Most Common Errors

1	Outdated and wrong codes referenced
2	Occupant load and exit capacity: Is stair capacity sufficient for occupant load of entire floor?
3	Clear floor space at accessible toilet room
4	Remoteness of exit separation: New Construction vs Existing
5	Elevator Lobby Locking: Access to a single exit must be maintained under <u>all</u> conditions
6	No listings shown for rated walls: No listed assemblies shown
7	Common path of travel is incorrect
8	Unrated finishes used
9	Improper vertical openings
10	Portable fire extinguishers not provided

Q & A

1. Do the drawings need to be stamped and signed by a design professional licensed in the State of Georgia?

Yes (in almost every case)

2. What is the difference between Calculated Occupant load vs. Determined Occupant Load?

COL is based on space-by-space calcs using factors in NFPA 101 Table 7.3.1.2 (2018 ed.); DOL is approved by Building Official based on seating plan or similar, under sec 1004.5 of IBC.

3. Is the space to be used for food service?

Requires Review by Fulton County Health Dept. & Fulton Public Works for Grease Trap

4. Is the space to be used for a nail salon?

Exhaust ventilation must conform to requirements of IMC 403.3.1.1, notes b & h

5. Does the work require a licensed contractor?

Yes

6. Do document sets need mechanical, electrical, and plumbing drawings?

Yes. Minor MEP can be Design-Build by Sub, submitted by GC

EV CHARGER PERMITS

Public Electric Vehicle (EV) Charging Stations

- As electric vehicles become more common, there is an increasing need for public EV charging stations.
- Sandy Springs currently does not have any specific regulations for EV chargers in the development code.
- The City is in the process of developing a code section for EV chargers which is expected to be adopted by September 2023.



EV Charger Permits

- For permitting purposes, EV charging stations are currently considered *Unmanned Retail Structures* similar to a bank ATM or movie rental kiosk (Development Code Section 7.8.21)
 - These structures are limited to three (3) independent structures per site.
 - A single EV charging station counts as one of the three allowable unmanned retail structure
 - Exception: A single EV charging pedestal that has more than one charging station on it is considered to be a single unmanned retail structure.



Two Typical Installation Conditions:

1. Inside Parking Structures

- No limit on the number of EV charging stations located *inside* a parking garage.
- There are no screening requirements *inside* a parking garage.
- Must apply for a **Commercial - Addition and Alteration** permit.



Two Typical Installation Conditions:

2. Installed On Surface Parking Lots:

- EV charging stations are considered to be unmanned retail structures
- Quantity is currently limited to three (3) independent structures per site.
- Charging station pedestals located in the front of a building shall be installed in the closest row of parking adjacent to the building.
- Charging station pedestals may be installed within the buildable areas along the sides and rear of a building.



Two Typical Installation Conditions:

2. Installed On Surface Parking Lots (cont.):

- Any digital signage shall not be visible from the street.
- All related equipment, other than the EV charging pedestals:
 1. Shall not be located in between the front plane of the building and the street; and
 2. Shall be screened from view (Development Code Section 8.2.9)
- Must apply for a **Commercial - Accessory Structure** permit.



SIGN PERMITS

What Are The Different Types Of Signs?

There are 9 different sign types that require a permit:

1. Awning Sign
2. Canopy Sign
3. Projecting Sign
4. Wall Sign
5. Shingle Sign
6. Crown Sign
7. Monument Sign
8. Entrance Sign
9. Temporary Sign



What Are The Different Types Of Signs?

- All of these signs can be classified into three simple (3) categories:

1. Wall Mounted Signs

2. Ground Mounted Signs

3. Temporary Signs



Wall Mounted Sign (Sec 8.3.16)

Wall Mounted

- **Definition:** A sign attached to the wall or surface of a building that does not project more than 1 foot from the outside wall of the building.
- A sign is allowed on all building facades:
 - Primary Building Façade: This is the building façade that is facing the primary street.
 - Side & Rear Building Facades: All other building facades that are not facing the primary street.



Wall Mounted Sign (Sec 8.3.16)

Wall Mounted

- Development Code Requirements:
 - Primary Building Façades: The wall sign is allowed to be **1 sf in size per 1 linear foot** of the primary building façade length.
 - Side and Rear Building Facades: The wall sign is allowed to be **0.5 sf per 1 linear foot** of the side and rear building façade length.
 - Note: If any building façade length is less than 32 feet, then the maximum sign area is 32 sf for that side.



What Do We Need For Wall Sign Permits?

- Application
- Owner Authorization
 - From the Owner/Property Manager
- Existing Building Elevation
- Proposed Building Elevation
 - Building/Suite overall dimensions
 - Sign overall dimensions
- Wall Connection Detail
 - Showing the site-specific existing wall construction
 - Showing all the structural connection member sizes, types, quantities, and spacing
 - Elevation view of the sign showing all the fastener locations

Monument Sign (Sec 8.3.13)

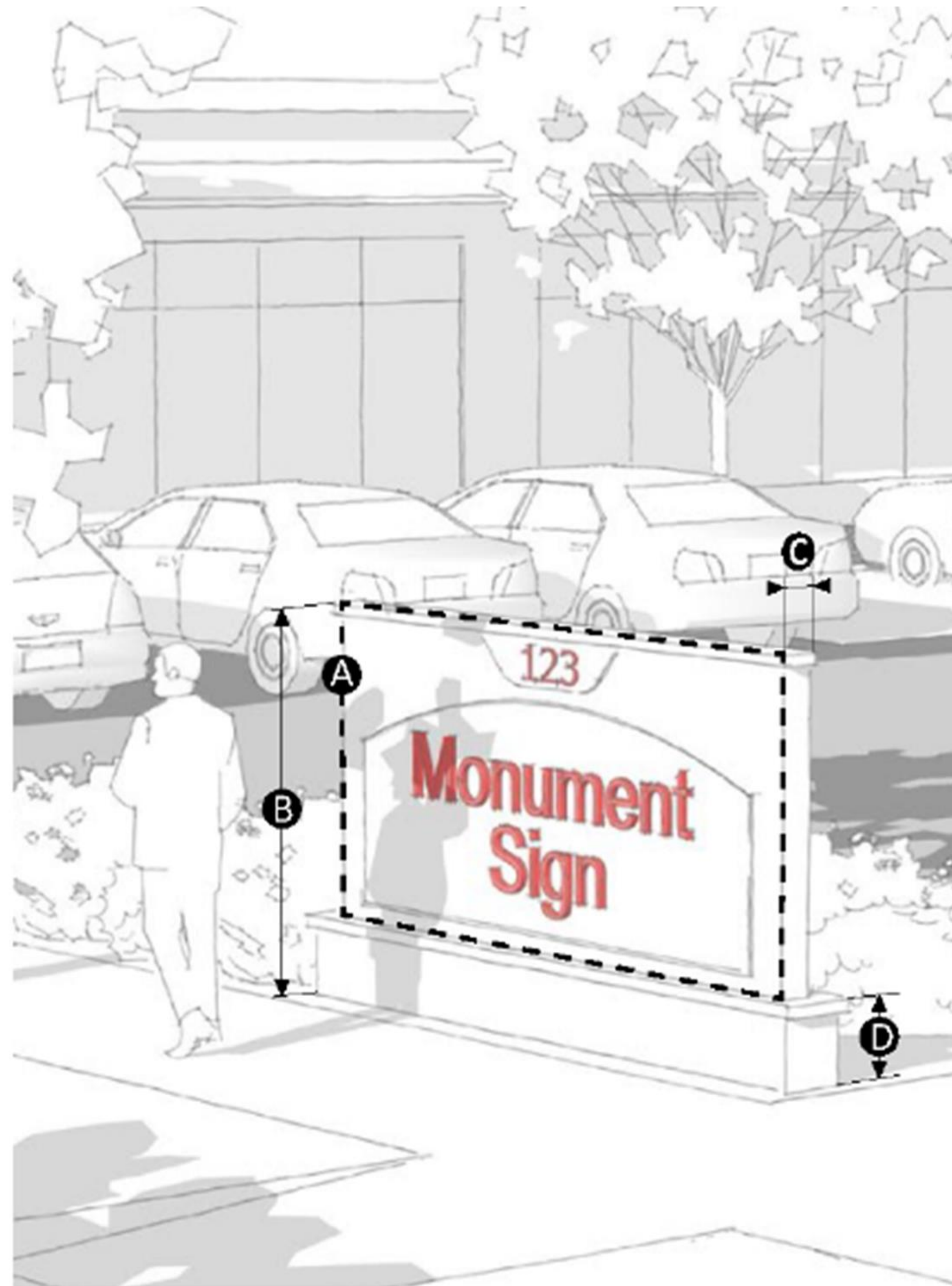
Ground Mounted

- **Definition:** A freestanding permanently affixed sign that is attached to the ground along its entire length for commercial development.
- **Development Code Requirements:**
 1. Sign must be set back at least 5 feet from a front lot line and 10 feet from a common lot line.
 2. Signs located within 100 ft of a street must have the address number on it.
 3. The base must be constructed of durable materials (Sec. 6.6.2.B.3).
 4. May be externally or internally illuminated (Sec. 8.3.21.)



Monument Sign (Sec 8.3.13)

Ground Mounted



- Size Restrictions

- One sign allowed per 500 ft of frontage
- Multiple signs must be 500 ft apart
- Maximum Sign Area:
 - Less than 500 LF of frontage: 32 SF
 - 501-1,000 LF of frontage: 48 SF
 - 1,001 LF or more of frontage: 64 SF

What Do We Need For Ground Sign Permits?

- Application
- Owner Authorization
 - From the Owner/Property Manager
- Site Plan showing the location of the sign on the property
- Proposed Sign Elevations
 - Sign overall dimensions
 - Materials listed
- Ground Sign Structural Detail
 - Footing type with dimension, rebar size, quantity, and spacing
 - Wall framing material type and size
 - Elevation view of the sign showing all the fastener locations

Temporary Signs (Sec 8.3.18)

- **Definition:** A sign that is not permanently mounted and not intended to be displayed for an extended period of time. All banners are considered temporary signs.
- **Development Code Requirements:**
 - The signs shall be restricted to a maximum area of 32 square feet per parcel.
 - When at grade level, the maximum sign height is 5 feet.
 - When placed on a building, the maximum sign height is 24 feet and cannot extend above the roofline.
 - Signs cannot encroach into the right-of-way or the easement.
 - **Signs may be displayed on the same lot for a maximum of three, two-week (14-day) periods per calendar year.**



Temporary Signs (Sec 8.3.18)

- Temporary Signs On New Buildings

- Allowed on new buildings that are 3 stories in height or greater and are not located in a Protected Neighborhood district.
- A banner is allowed one time for a period not to exceed 6 months.
- The banner must be affixed to the building.
- The banner may not exceed 120 square feet in total area.
- The banner must be mounted so that it does not extend above the line where the building wall and roof meet.

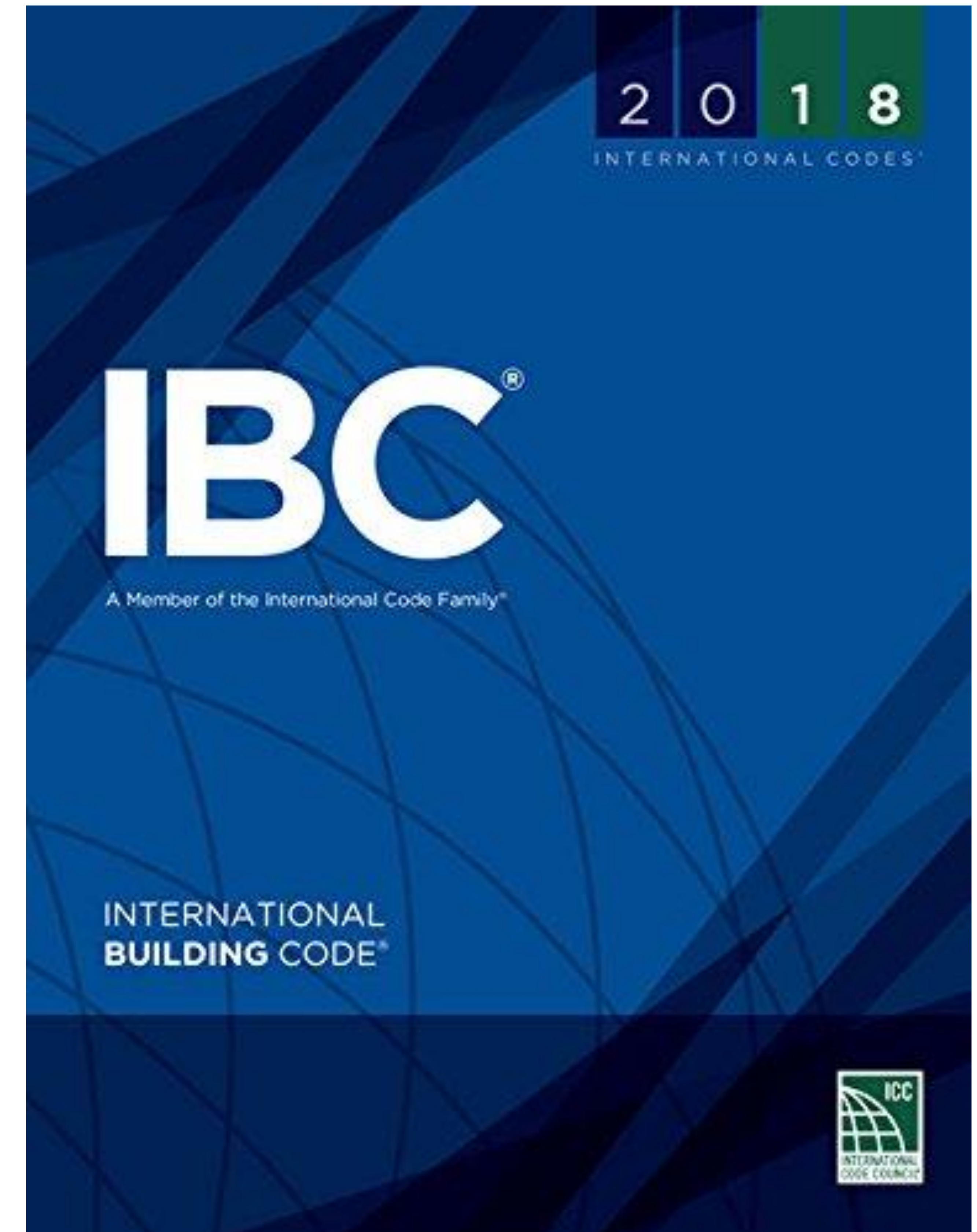


What Do We Need For Temporary Sign Permits?

- Application
- Owner Authorization
 - From the Owner/Property Manager
- Existing Building Elevation
 - Showing the location of the temporary sign
 - Temporary sign overall dimensions

What Are the Building Code Requirements?

- **The Building Code** adopted by the State of Georgia and all major cities in the state, including Sandy Springs, is the International Building Code (IBC)
 - We are currently using the 2018 IBC
 - Sign Code Requirements are outlined in “Appendix H - Signs” of the 2018 IBC.
 - This appendix specifies the minimum design criteria and support requirements for signs



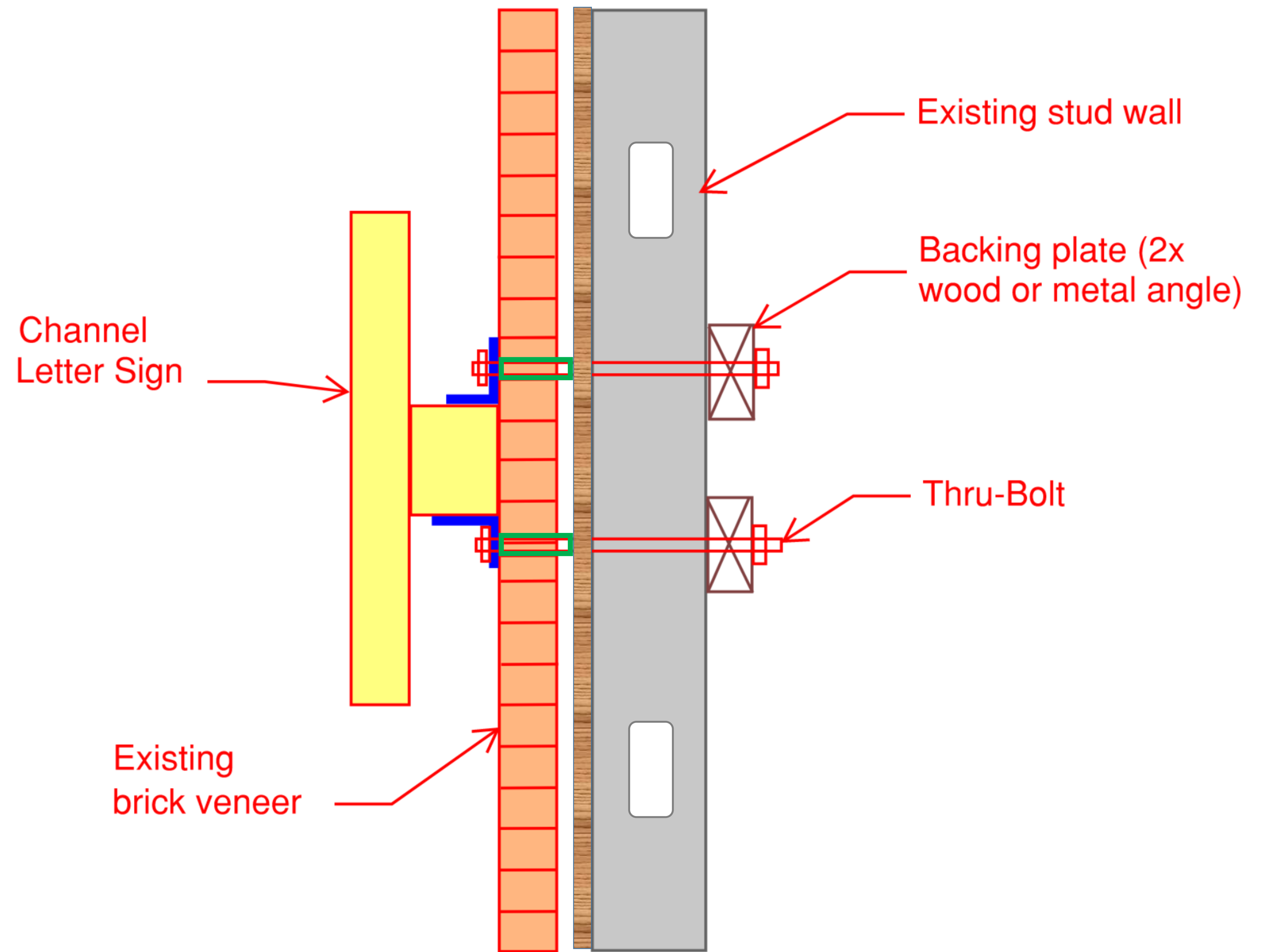
Structural Design Criteria

Wall Mounted

- Wind Speed (ASCE 7-16):
 - Risk Category I (Agricultural): 99 MPH
 - **Risk Category II (Business & Residential): 105 MPH** (Most Common)
 - Risk Category III (Public Assembly): 113 MPH
 - Risk Category IV (Fire, Rescue, Ambulance, Police): 117 MPH
- Seismic Load (ASCE 7-16):
 - S_s : 0.2 sec
 - S_1 : 0.088 sec
 - Assume Site Class D
 - **Risk Category I, II & III: Seismic Design Category C** (Most Common)
 - Risk Category IV: Seismic Design Category D

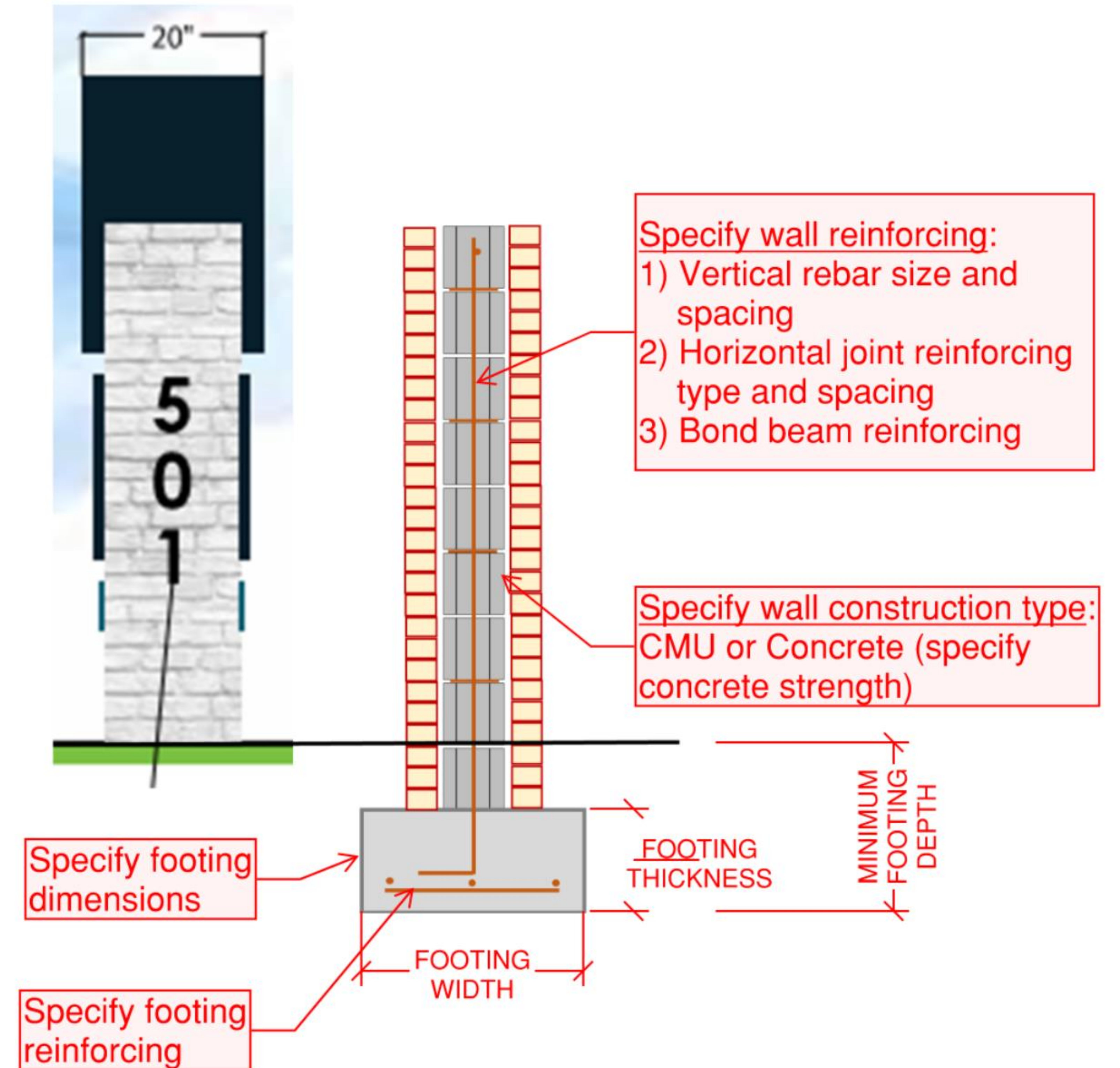
Wall Sign Design

- Note: Signs **are not allowed** to be attached to brick veneer.
- How can you help the tenant?
 - Provide the exterior wall construction type.
 - Provide the architectural or structural wall section details from the original construction drawings.



Monument Sign Design

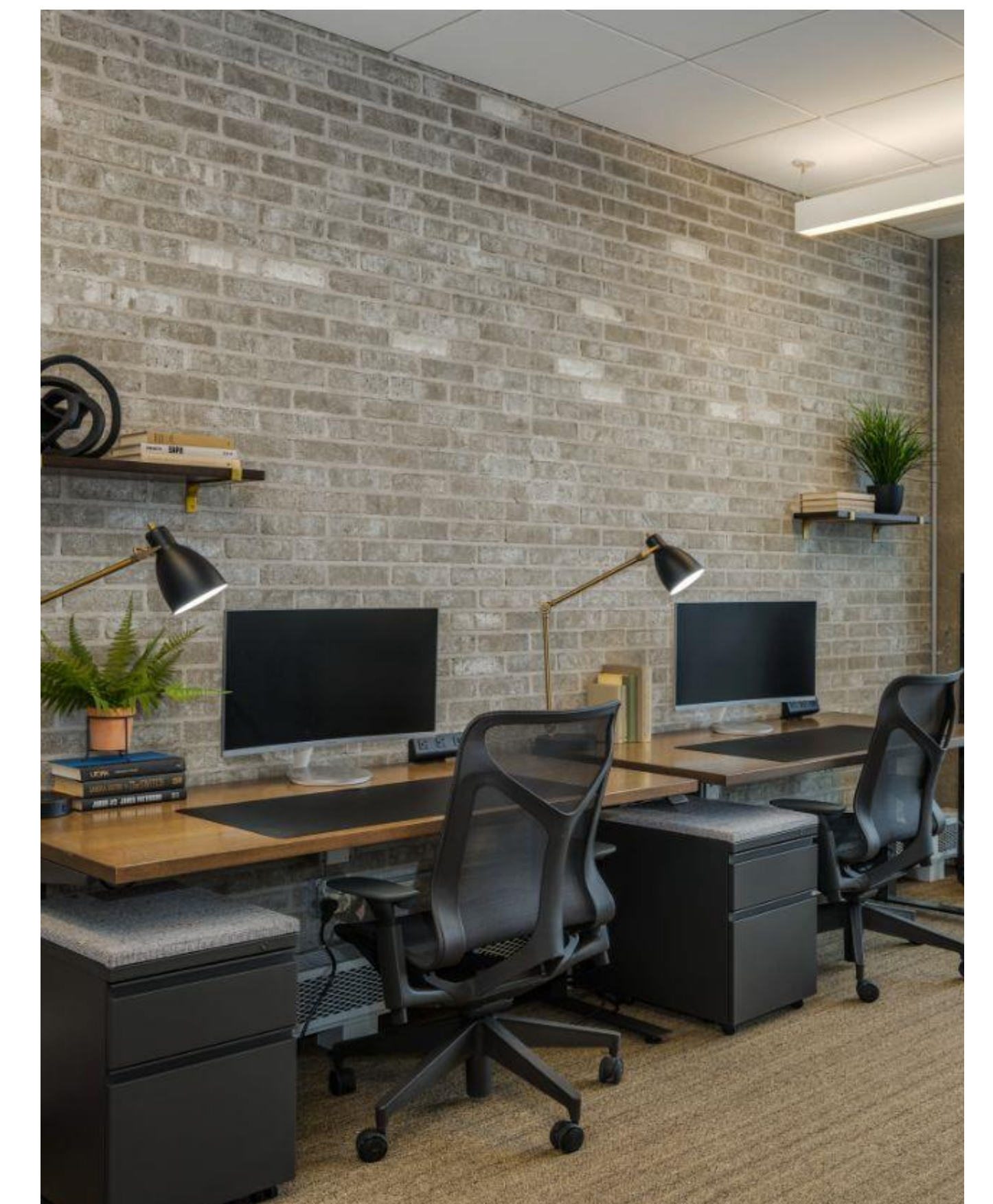
- Note: Monument signs **cannot block** the travel sight distance.
- How can you help the tenant?
 - Provide the original site plan or survey that indicates the vehicle entry drive locations and lot parameters



COWORKING SPACE PERMITS

What Is Coworking Space?

- An arrangement in which workers from different companies share an office space.
- It allows for potential cost savings and convenience by sharing common infrastructures such as:
 - Furniture
 - Equipment
 - Utilities
 - Receptionist
 - Custodial Services
 - Refreshments (in some cases)
 - Parcel Acceptance Services (in some cases)



Coworking Spaces In Sandy Springs

- There are currently over a dozen different coworking space companies in Sandy Springs
- These vary from large global corporations to smaller local companies.



INDUSTRIOUS



INTELLIGENT OFFICE

wework



SPACES.

LIFETIME WORK®

WORCPACES

BY CP GROUP

Certificate Of Occupancy Challenges

- Coworking spaces offer the tenant the privacy and personalization they expect from their own space but with the flexibility to meet their changing needs.
- The challenge with being flexible is that a Certificate of Occupancy (CO) is intended for a single occupant based on a certain type of Use Group and Occupancy Classification to determine a maximum occupant load.



Certificate Of Occupancy Challenges

- With the high turnover of tenants in coworking spaces, there is **no consistency or oversight** as to what type of business is occupying a leased space.
- The challenge is that when you mix different types of Use Groups and Occupancy Classifications, this may result in additional building requirements:
 - Addition or increase of sprinklers
 - Reduced Occupant load
 - Additional Fire Wall Requirements
 - and more depending on the different variables.

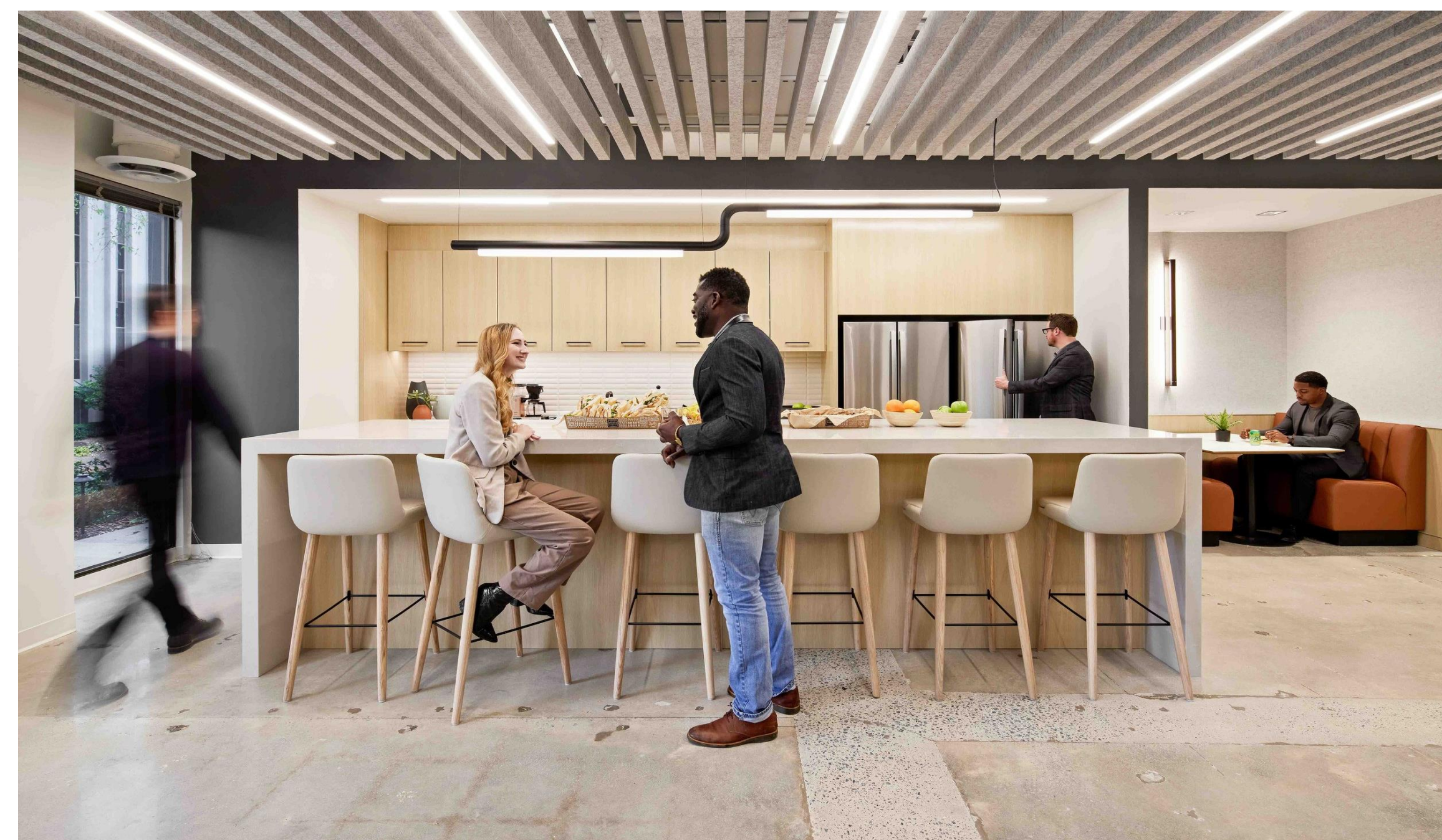


**MAXIMUM
OCCUPANCY
82 PERSONS**



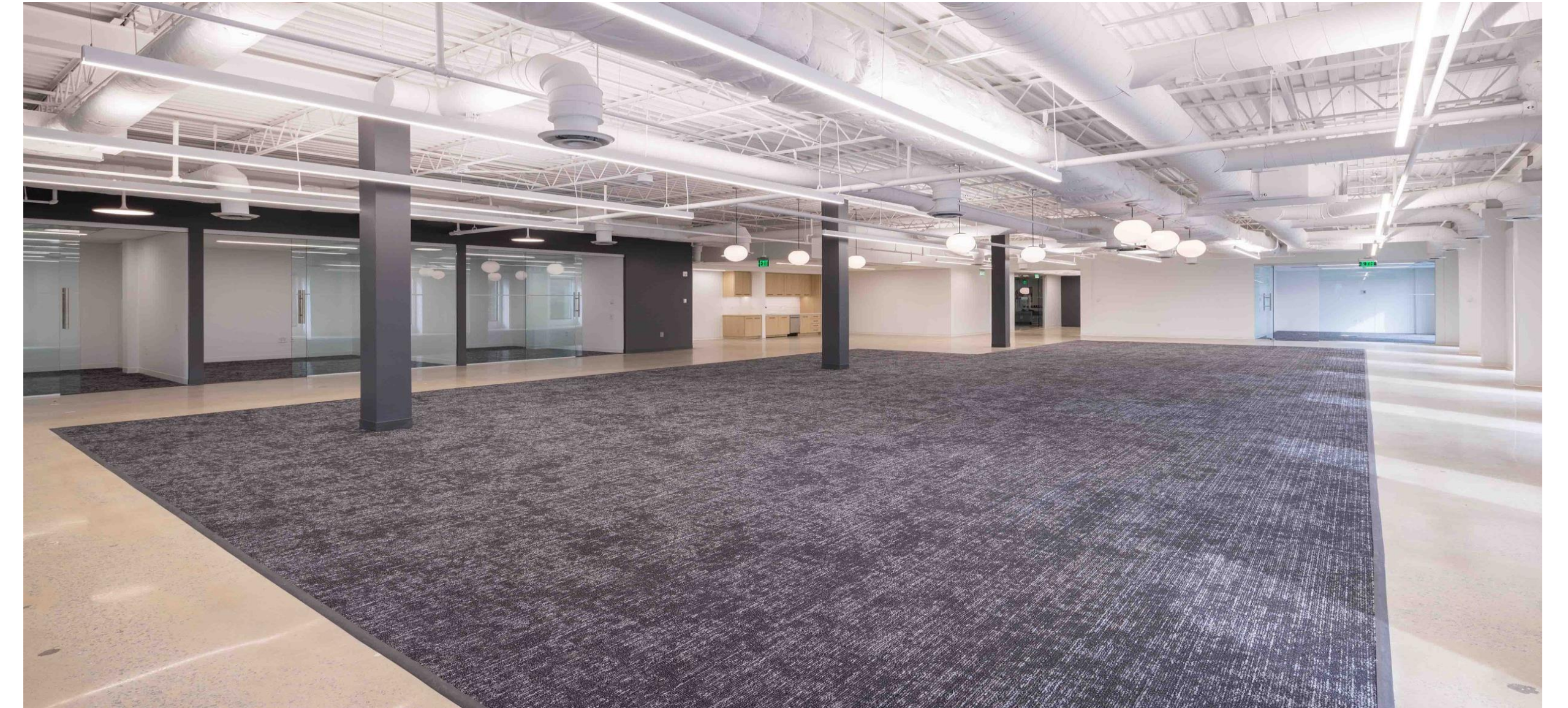
Okay, So Now We're Good?

- Well, that depends on a couple of variables:
 1. Floor Plan Changes: Moving walls or adding furniture
 2. Density Increase: Occupying space with more people than shown on the approved Life Safety Plan



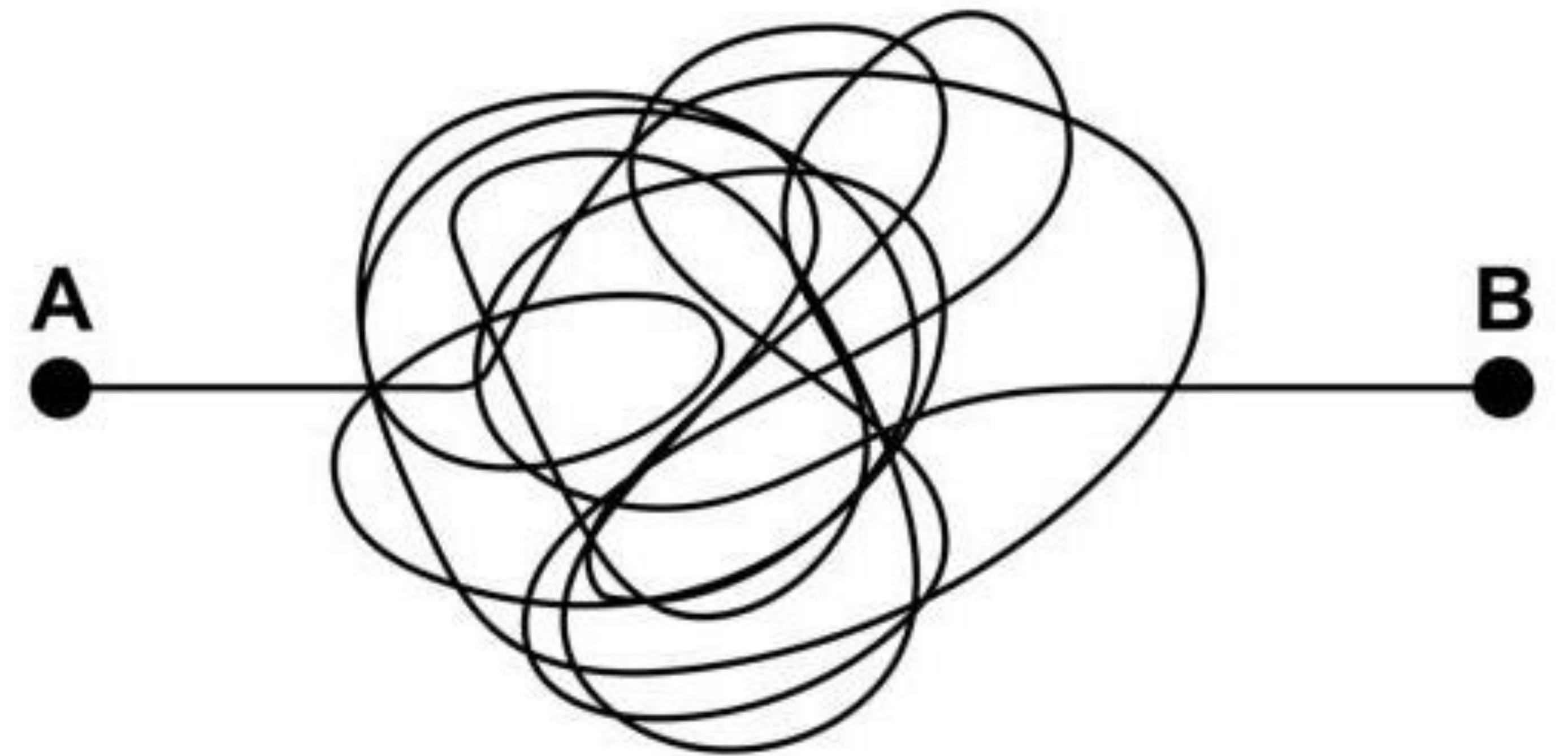
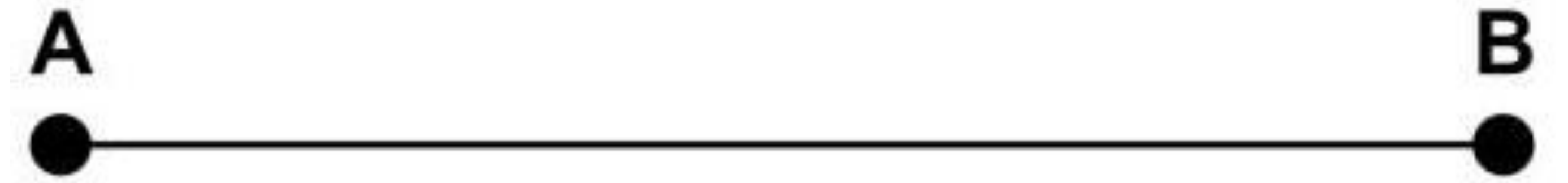
Variable 1: Floor Plan Changes

- If new partition walls are added, moved, or removed and/or new furniture is added to the open common area, then a new tenant-specific CO will be required.
- If a “white box” is provided and the tenant adds partition walls and/or new furniture to the open common area, then a Commercial – Interior Remodel permit is required.
- If an existing floor plan is modified, then a Commercial – Interior Remodel permit is required.
- If no changes are made to an existing floor plan, then no permit is required.



Variable 1: Floor Plan Changes

- Why Are Floor Plan Changes So Important?
 - Changes in floor plans can result in an increase in travel distance to an emergency exit.
 - This can result in having to add additional emergency exits so that the tenant can safely evacuate a building in the most direct path to an emergency exit.



Variable 2: Density Increase

- Occupancy limits are determined by code based on the existing building parameters.
- Increases in tenant density that exceed the allowable occupancy by code can result in too many people in each space.



Variable 2: Density Increase

- If there is an increase in density that exceeds the allowable by code as listed on the Life Safety Plan:
 - The space cannot be occupied.
 - Two options for compliance:
 1. Reduce the total number of occupants to the allowable occupancy limits
 2. A licensed architect will have to reevaluate the Life Safety Plan to determine a suitable solution that may require building modifications.
 - A Commercial - Interior Remodel permit or a Commercial Addition & Alteration permit will be required depending on the solution.
 - A new CO will be issued once the building modifications are installed, inspected and approved.



Variable 2: Density Increase

- What's wrong with having a full workspace?
 - This can lead to overcrowding.
 - This can overwhelm the emergency exits and result in dangerous bottlenecks in an emergency situation.
 - Crowd behavior significantly changes during high-stress situations. Panic can set in resulting in irrational decisions that can lead to serious injury or death.
 - Alternative solutions for safe egress will need to be explored.



Coworking Space Permit Summary

SAFETY

- Make sure that all the tenants are safe
 - Make sure that the building is safe
- (Reduced risk of liability in a lawsuit)

The background is a dark blue color with several large, abstract, light blue shapes that resemble stylized flames or smoke, positioned primarily on the right side of the frame. The text is centered horizontally and vertically.

ANNUAL FIRE MARSHAL INSPECTIONS

Annual Fire Marshal Inspections

- Annual fire inspections are required on most occupancy types.
- These inspections are performed by the Sandy Springs Fire Marshal's office.
- The following systems are always required to be inspected annually unless noted otherwise:
 - Fire Alarm
 - Fire Sprinkler
 - Fire Hydrants
 - Hood Suppression Systems (Every 6 Months)
 - Hood cleaning (Every 3-6 months)



Common Violations During Inspection

- Blocked exits
- Emergency lights that do not work, batteries are drained
- Expired fire extinguisher tags



The Compliance Engine (TCE)

- All 3rd party reports for annual testing must be uploaded to our online portal The Compliance Engine.
- These reports must be uploaded by the 3rd party inspector within 30 days of their inspection.
- An uploaded report does not indicate a passed inspection.
- Compliant and deficient reports are required to be uploaded to TCE.



The Compliance Engine (TCE)

- You should read your reports to see if your system has any deficiencies and schedule any repairs with your vendor accordingly.
- Any deficiencies noted require a follow-up inspection report once the repairs have been completed to indicate code compliance.
- TCE charges about \$15 per report.
 - Most vendors are already pushing this cost to the customer in the form of an administrative fee.



ADDRESSING / CHANGE OF ADDRESS

Why is having the proper address so important?

- The City maintains a GIS database of all addresses (including building and suite numbers).
- Police, Fire, and 911 use our GIS address database and mapping when responding to a call.
- If the City does not have your address, then emergency services may be delayed.



**YOU ARE
HERE**



Address Search in the Online Permitting Portal

Project Location

Add Location

+

REQUIRED

Add Address As Project Location

SEARCH

1000 abernathy

Select All

- 1000 ABERNATHY RD**
Parcel: 17 0019 LL0582
Owner: COUSINS NORTH PARK OWNER 400 LLC
- 1000 ABERNATHY RD FLR 14**
Parcel: 17 0019 LL0582
Owner: COUSINS NORTH PARK OWNER 400 LLC
- 1000 ABERNATHY RD STE 1435**
Parcel: 17 0019 LL0582
Owner: COUSINS NORTH PARK OWNER 400 LLC
- 1000 ABERNATHY RD STE 1455**
Parcel: 17 0019 LL0582
Owner: COUSINS NORTH PARK OWNER 400 LLC
- 1000 ABERNATHY RD STE 350**
Parcel: 17 0019 LL0582

Street Number and Street Name

Add Address As Project Location

SEARCH

1000-

Select All

- 1000-10 ABERNATHY RD**
Parcel: 17 0019 LL0582
Owner: COUSINS NORTH PARK OWNER 400 LLC
- 1000-100 ABERNATHY RD**
Parcel: 17 0019 LL0582
Owner: COUSINS NORTH PARK OWNER 400 LLC
- 1000-1000 ABERNATHY RD**
Parcel: 17 0019 LL0582
Owner: COUSINS NORTH PARK OWNER 400 LLC
- 1000-1010 ABERNATHY RD**
Parcel: 17 0019 LL0582
Owner: COUSINS NORTH PARK OWNER 400 LLC
- 1000-1025 ABERNATHY RD**
Parcel: 17 0019 LL0582

Street Number-Suite

Add Address As Project Location

SEARCH

Cliftwood

Select All

- 0 CLIFTWOOD DR**
Parcel: 17 009000040373
Owner: FULTON COUNTY BOARD OF EDUCATION
- 100 CLIFTWOOD DR**
Parcel: 17 009000040373
Owner: FULTON COUNTY BOARD OF EDUCATION
- 105 CLIFTWOOD DR**
Parcel: 17 009000040084
Owner: PAMBORIS GUS & JO ANN
- 115 CLIFTWOOD DR**
Parcel: 17 009000040092
Owner: FULTON COUNTY
- 125 CLIFTWOOD DR**
Parcel: 17 009000030234
Owner: FULTON COUNTY

Street Name

Add Address As Project Location

SEARCH

7800

Select All

- 7800 GLISTEN AVE**
Parcel: 17 0032 LL3324
Owner: COOPER ANDREA D
- 7800 GLISTEN AVE**
Parcel: 17 0032 LL3340
Owner: SMILEY QUENETTE R
- 7800 GLISTEN AVE**
Parcel: 17 0032 LL3332
Owner: JOHNSON MARCELLA
- 7800 GLISTEN AVE**
Parcel: 17 0032 LL3357
Owner: CRISTOBAL RYAN & LEESHANOK MICAH M
- 7800 HIGHLAND BLF**
Parcel: 17 0032 LL4686
Owner: ANANTHSWAMY RAJAGOPAL MIRMIRA & PRAHALLADACHAR MADHUMITA



Street Number

Cover Page Addressing Requirements

- Cover page
 - Vicinity Map
 - Building Keyplan
- Title Block
 - Full Address
 - Suite Number
 - City is Sandy Springs
 - Zip Code

INTERIOR MODIFICATIONS

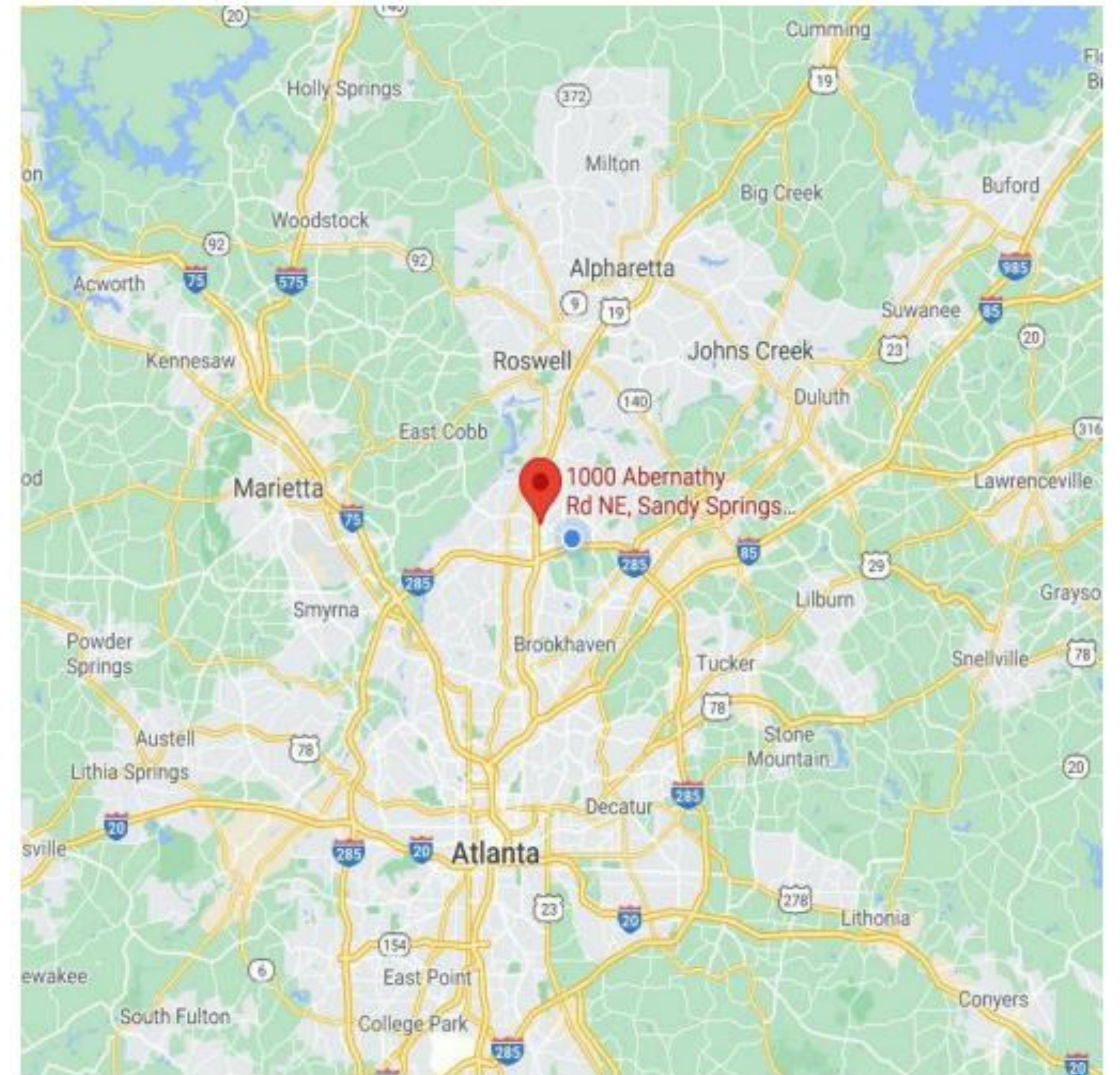
400 NORTH PARK
1000 ABERNATHY ROAD NE,
SUITE 1450
SANDY SPRINGS, GA 30328

PROJECT DESCRIPTION	PROJECT TEAM	VICINITY MAP	BUILDING KEYPLAN
INTERIOR BUILDOUT TO SUBDIVIDE ONE SUITE INTO (2) IN AN EXISTING BUILDING. LEFTOVER SUITE TO REMAIN VACANT. EXTENT OF WORK TO INCLUDE NEW WALLS, DOORS, AND INTERIOR FINISHES. MODIFICATIONS TO MEP SYSTEMS AS REQUIRED.	<p>CONSTRUCTION MANAGEMENT:</p> <p>CAUSA CONTACT: JENNIFER KOSLOSKI 1167 HOLLAND FOREST CT. ALPHARETTA, GA 30308 T: 404.277.4450 JKOSLOSKI@CAUSA.COM</p> <p>ARCHITECT:</p> <p>VICKERS DESIGN GROUP CONTACT: WENDY DAVIS 1330 ABERNATHY ROAD NE, SUITE 100 SANDY SPRINGS, GA 30338 T: 404.377.4450 WDAVIS@VICKERSDESIGNGROUP.COM</p> <p>MEP ENGINEER:</p> <p>SILAS O'BRIEN CONTACT: ROBERT ZHOUJIAN, JR. 3030 WINDY HILL ROAD SE, SUITE 200 E KILMOROCK, GA 30149 T: 404.434.7373 ROBERT.ZHOUJIAN@SILASOBRLEN.COM</p> <p>GENERAL CONTRACTOR:</p> <p>YBC</p>		 <p style="text-align: right;">SCALE: 1" = 40'-0"</p>

Vicinity Map

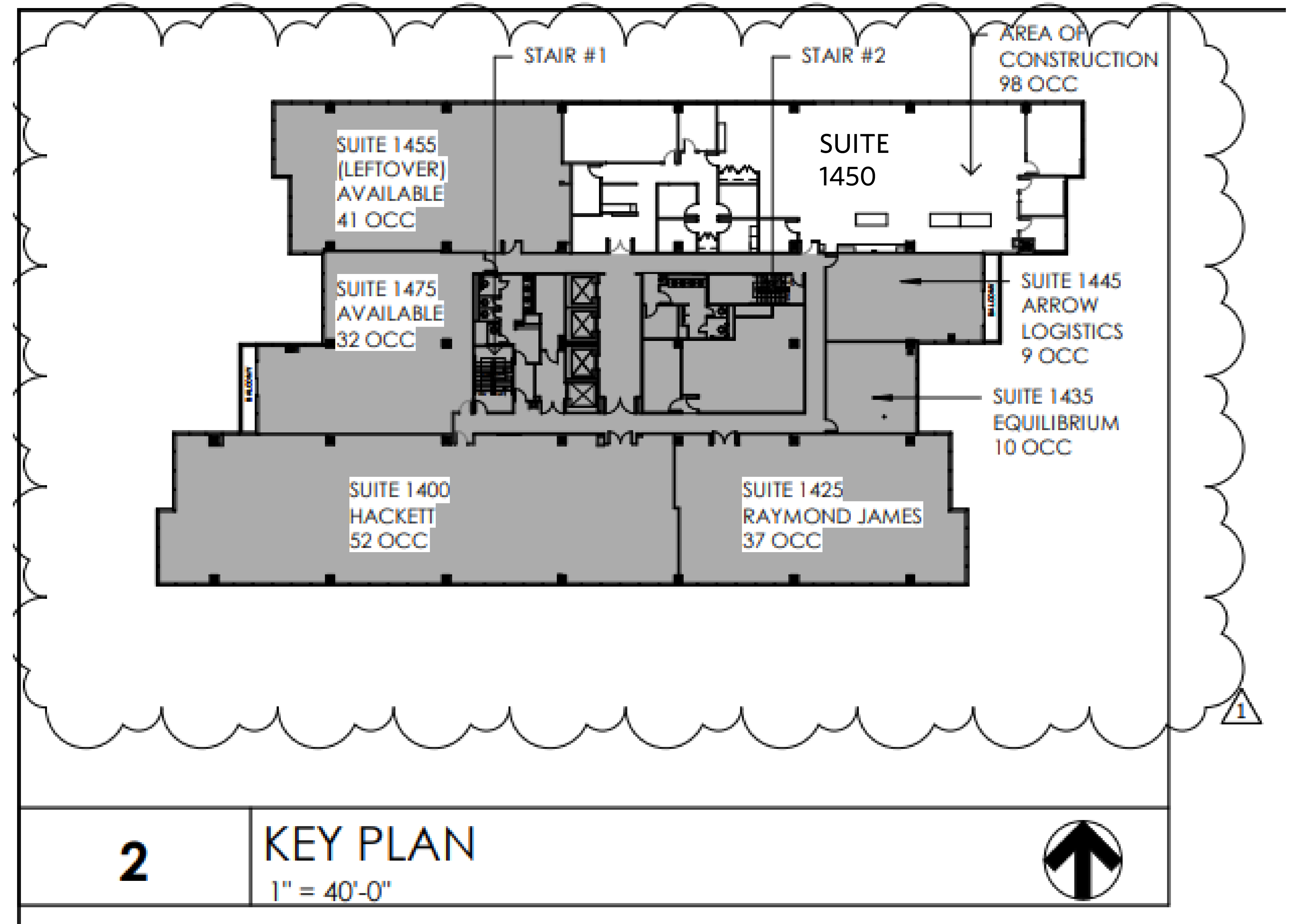
- Snip from Google, Waze, Bing, or another map
- Include the main address of the building in the vicinity map
 - The suite number is not required

VICINITY MAP



Key Plan

- Label all existing suites on the floor plan
- Identify the resulting suite(s) if splitting or combining suites.
- Suite numbers should sequence in a logical order, clockwise or counter-clockwise
- Why do we need this?



Summary

In Conclusion:

- A Certificate of Occupancy **shall be obtained** for all new tenants moving into a space (or portion of a space) that they did not formerly occupy.
- Property owners and property managers **should provide their tenants** with the following information:
 - The **building construction type**.
 - Identify whether the building has an **automatic sprinkler system**.
 - The name of the **legal entity that owns the property**.
 - Provide a **Commercial Owner Authorization form** to the client authorizing the proposed work to be done.

In Conclusion:

It is all about Life Safety!

Please educate your new tenants about these requirements.

Thank you!

Contact Information

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